



REPLY TO  
ATTENTION OF

CESAJ-RD  
West Permits Branch  
Tampa Section

DEPARTMENT OF THE ARMY  
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT  
701 SAN MARCO BOULEVARD  
JACKSONVILLE, FLORIDA 32207-8915

April 15, 2019

## ***PUBLIC NOTICE***

Permit Application No. SAJ-2008-02931(SP-JLC)

TO WHOM IT MAY CONCERN: The Jacksonville District of the U.S. Army Corps of Engineers (Corps) has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 U.S.C. §1344) as described below:

APPLICANT: HPI Horne Storage, LLC  
c/o Jeff Eckols  
101 Westlake Dr., Ste 148-Box 7  
Austin, Texas 78746

WATERWAY AND LOCATION: The project would affect waters of the United States associated with Lake Nash. The project site is located at 1539 Alternate Highway 19, in Section 31, Township 26 South, Range 16 East, Holiday, Pasco County, Florida 34691.

Directions to the site are as follows: From U.S. Highway 19 north, turn left onto U.S.-19 Alt south. The project site is the first property on the right.

APPROXIMATE CENTRAL COORDINATES: Latitude: 28.182071°  
Longitude: -82.741847°

### **PROJECT PURPOSE:**

Basic: Commercial development.

Overall: To construct a mini self-storage warehouse facility near U.S. 19 and Alt Highway 19 in Pasco County, Florida, to meet local demand for this type of facility.

EXISTING CONDITIONS: The project site is an approximately 5 acre parcel adjacent to Alt Highway 19. The parcel contains 2 acres of mixed wetland hardwoods (FLUCCS 617), 0.61 acre of Brazilian pepper dominated wetlands (FLUCCS 619) and 0.097 acres of non-forested wetlands (FLUCCS 640). Uplands consist of Brazilian pepper (FLUCCS 422), grassed open land (FLUCCS 191) and a retail fruit stand and parking lot (FLUCCS 141). The parcel is surrounded on all sides by roads, commercial development and/or residences. The on-site wetlands have a surface hydrologic connection via a ditch to wetlands contiguous with Lake Nash to the southwest.

Drainage structure improvements are also proposed at three offsite locations: Tackle Lane, Gulf Trace Blvd and Strauber Memorial Highway. Tackle Lane drainage improvements are proposed in areas supporting mixed wetland hardwoods. Gulf Trace drainage improvements are proposed in an area supporting open water and Brazilian pepper. Strauber Memorial Highway drainage improvements are proposed in an area supporting saltwater marsh.

**PROPOSED WORK:** The applicant seeks authorization to permanently fill 1.417 acres of wetlands and perform clearing in 0.020 acre of wetlands for the construction of a self-storage facility at the subject parcel. The work also includes floodplain compliance activities consisting of 0.011 acre of permanent fill and 0.004 acre of temporary excavation in wetlands for the construction of Tackle Lane drainage improvements, including installation of stormwater pipes and mitered end sections from Tackle Lane to wetlands contiguous with Lake Nash. The work also includes downstream drainage improvements consisting of 0.001 acre of permanent fill and 0.004 acre of temporary excavation in wetlands for the replacement of a stormwater pipe under Strauber Memorial Highway. Drainage improvements at Gulf Trace Blvd will not require work in waters and will only require temporary deployment of a turbidity barrier.

**PROJECT HISTORY:** In 2011, the Corps permitted 1.617 acres of permanent fill and 0.026 acre of temporary fill for a grocery store project at this location, as well as drainage improvements at Tackle Lane, Gulf Trace Blvd and Strauber Memorial Highway. The permit expired in 2016 with no work started.

**AVOIDANCE AND MINIMIZATION INFORMATION** – The applicant has provided the following information in support of efforts to avoid and/or minimize impacts to the aquatic environment:

The applicant reduced permanent wetland fill impacts on the subject parcel by 0.10 acre from the initial design.

**COMPENSATORY MITIGATION** – The applicant has offered the following compensatory mitigation plan to offset unavoidable functional loss to the aquatic environment:

The applicant will mitigate for direct and secondary wetland impacts via the purchase of federal mitigation credits from the Upper Coastal Mitigation Bank.

**CULTURAL RESOURCES:** The Corps is not aware of any known historic properties within the permit area. By copy of this public notice, the Corps is providing information for review. Our final determination relative to historic resource impacts is subject to review by and coordination with the State Historic Preservation Officer and those federally recognized tribes with concerns in Florida and the Permit Area.



## ENDANGERED SPECIES:

The Corps made the determination of “may affect, not likely to adversely affect” for the federally threatened wood stork (*Mycteria americana*). The Corps evaluated potential impacts to the wood stork using the Wood Stork Effect Determination Key dated September, 2008 (Key). The Corps has programmatic concurrence with the sequential determination of A > B > C > D > E “not likely to adversely affect” pursuant to the Key.

The Corps determined the proposal may affect, but is not likely to adversely affect the federally threatened eastern indigo snake (*Drymarchon corais couperi*). The Corps evaluated potential impacts to the eastern indigo snake using the Eastern Indigo Snake Programmatic Effect Determination Key (Key) dated January 25, 2010, and updated August 13, 2013. The Corps has programmatic concurrence with the sequential determination of A > B > C > “not likely to adversely affect” pursuant to the Key.

The Corps determined the aspect of the project involving the Strauber Memorial Highway drainage improvements may affect, but is not likely to adversely affect the smalltooth sawfish (*Pristis pectinata*). The Corps evaluated the proposed work utilizing the National Marine Fisheries Service (NMFS)—Jacksonville District’s Programmatic Biological Opinion (JaxBO) dated November 20, 2017. The Corps has programmatic concurrence with this determination pursuant to the JaxBO and no individual concurrence is required.

**ESSENTIAL FISH HABITAT (EFH):** This notice initiates consultation with the National Marine Fisheries Service on EFH as required by the Magnuson-Stevens Fishery Conservation and Management Act 1996. The construction of the storage facility on the mail parcel and the Tackle Lane drainage improvements would affect inland freshwater resources. The Strauber Memorial Highway drainage improvements would affect a small amount of open water or salt marsh around an existing drainage structure. The Gulf Trace drainage improvements would only require temporary deployment of a turbidity curtain in freshwater resources. Our initial determination is that the proposed action would not have a substantial adverse impact on EFH or federally managed fisheries. Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

**NOTE:** This public notice is being issued based on information furnished by the applicant. This information has not been verified or evaluated to ensure compliance with laws and regulation governing the regulatory program. The jurisdictional line has not been verified by Corps personnel.

**AUTHORIZATION FROM OTHER AGENCIES:** The project is currently under review at the Southwest Florida Water Management District under application number 771425.

**COMMENTS** regarding the potential authorization of the work proposed should be submitted in writing to the attention of the District Engineer through the Tampa Permits

Section, 10117 Princess Palm Avenue, Suite 120, Tampa, FL 33610 within 21 days from the date of this notice.

The decision whether to issue or deny this permit application will be based on the information received from this public notice and the evaluation of the probable impact to the associated wetlands. This is based on an analysis of the applicant's avoidance and minimization efforts for the project, as well as the compensatory mitigation proposed.

QUESTIONS concerning this application should be directed to the project manager, Jessica Cordwell, in writing at the Tampa Permits Section, 10117 Princess Palm Avenue, Suite 120 Tampa, Florida 33610, by telephone at (813)769-7067, by fax at (813)769-7061, or by electronic mail at [Jessica.L.Cordwell@usace.army.mil](mailto:Jessica.L.Cordwell@usace.army.mil).

IMPACT ON NATURAL RESOURCES: Coordination with U.S. Fish and Wildlife Service, Environmental Protection Agency (EPA), the National Marine Fisheries Services, and other Federal, State, and local agencies, environmental groups, and concerned citizens generally yields pertinent environmental information that is instrumental in determining the impact the proposed action will have on the natural resources of the area.

EVALUATION: The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits, which reasonably may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including cumulative impacts thereof; among these are conservation, economics, aesthetics, general environmental concerns, wetlands, historical properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food, and fiber production, mineral needs, considerations of property ownership, and in general, the needs and welfare of the people. Evaluation of the impact of the activity on the public interest will also include application of the guidelines promulgated by the Administrator, EPA, under authority of Section 404(b) of the Clean Water Act or the criteria established under authority of Section 102(a) of the Marine Protection Research and Sanctuaries Act of 1972. A permit will be granted unless its issuance is found to be contrary to the public interest.

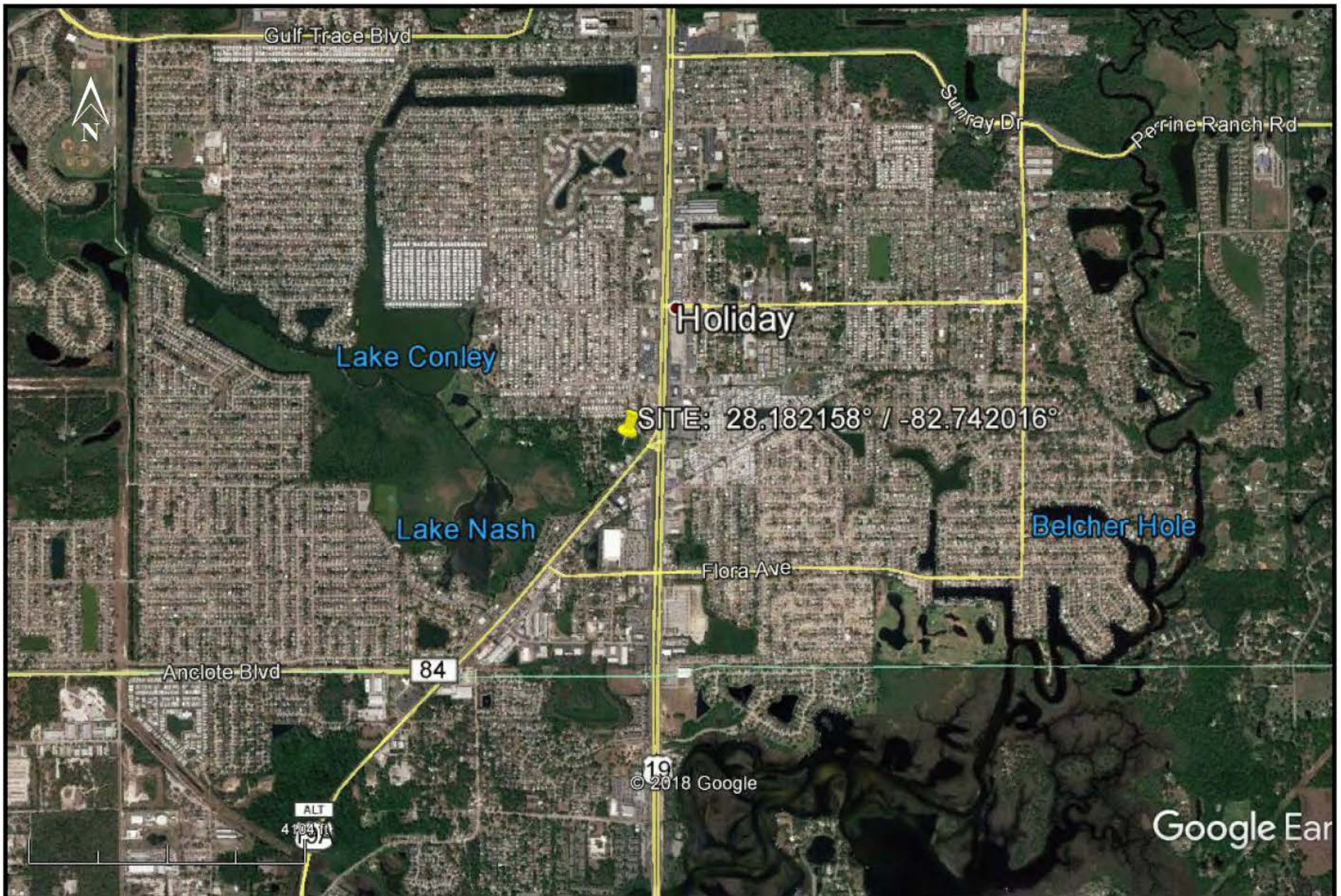
The US Army Corps of Engineers (Corps) is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other Interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps to determine whether to issue, modify, condition, or deny a permit for this proposal. To make this determination, comments are used to assess impacts to endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above.

Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

**COASTAL ZONE MANAGEMENT CONSISTENCY:** In Florida, the State approval constitutes compliance with the approved Coastal Zone Management Plan.

**REQUEST FOR PUBLIC HEARING:** Any person may request a public hearing. The request must be submitted in writing to the District Engineer within the designated comment period of the notice and must state the specific reasons for requesting the public hearing.



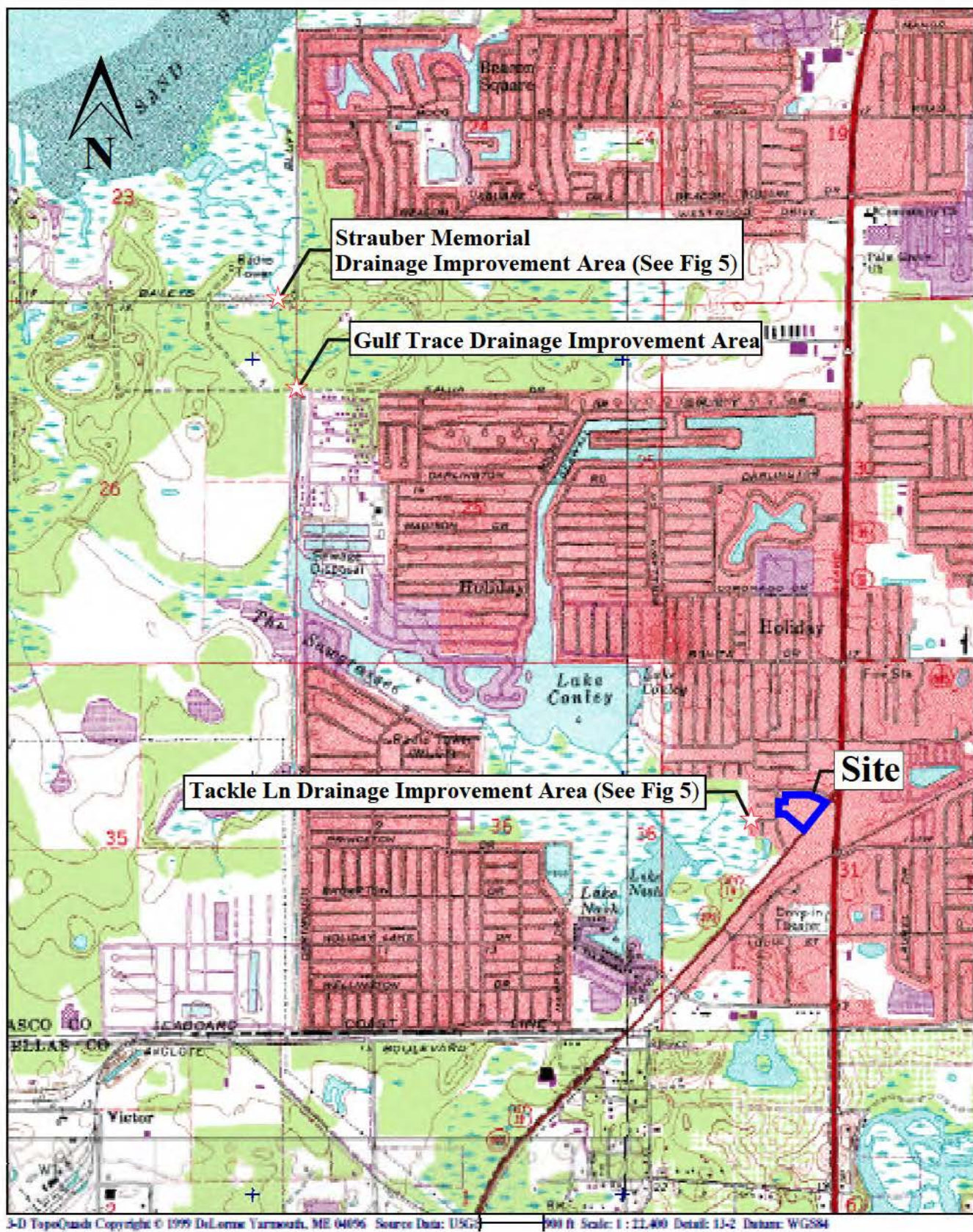


McAlpine Environmental Consulting, Inc.  
18312 Cortez Boulevard, Brooksville, FL 34601  
352-585-2033 (Cell)  
davidmec7@gmail.com

*HPI Horne Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Pasco County, Florida*

**Figure 1: Vicinity Map**





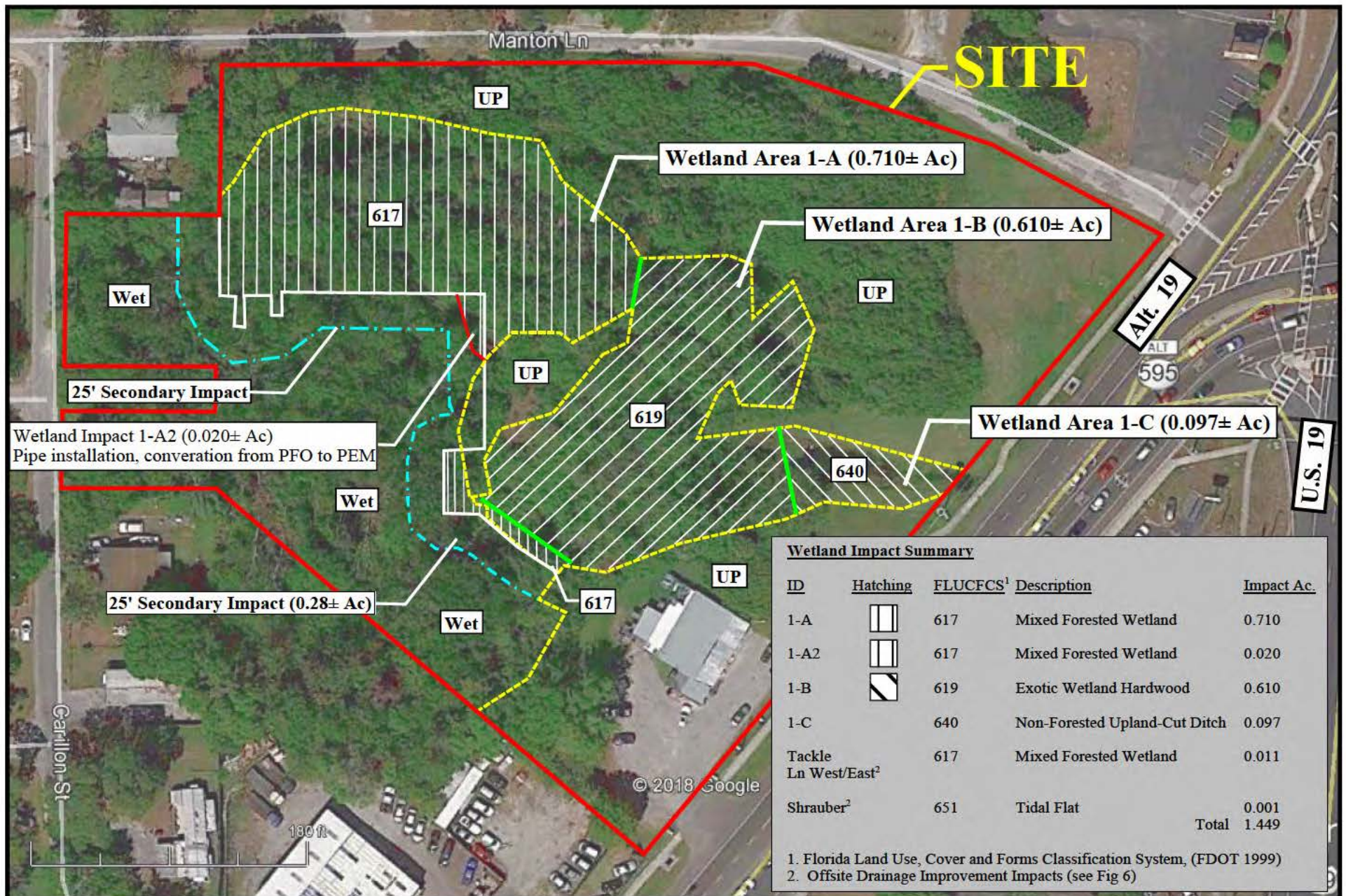
## Tarpon Springs and Elfers Quads

McAlpine Environmental Consulting, Inc.  
18312 Cortez Boulevard, Brooksville, FL 34601  
352-585-2033 (Cell)  
davidmcc7@gmail.com

**HPI Horne Storage, LLC**  
**Pasco County**

Figure 4: Quad Map





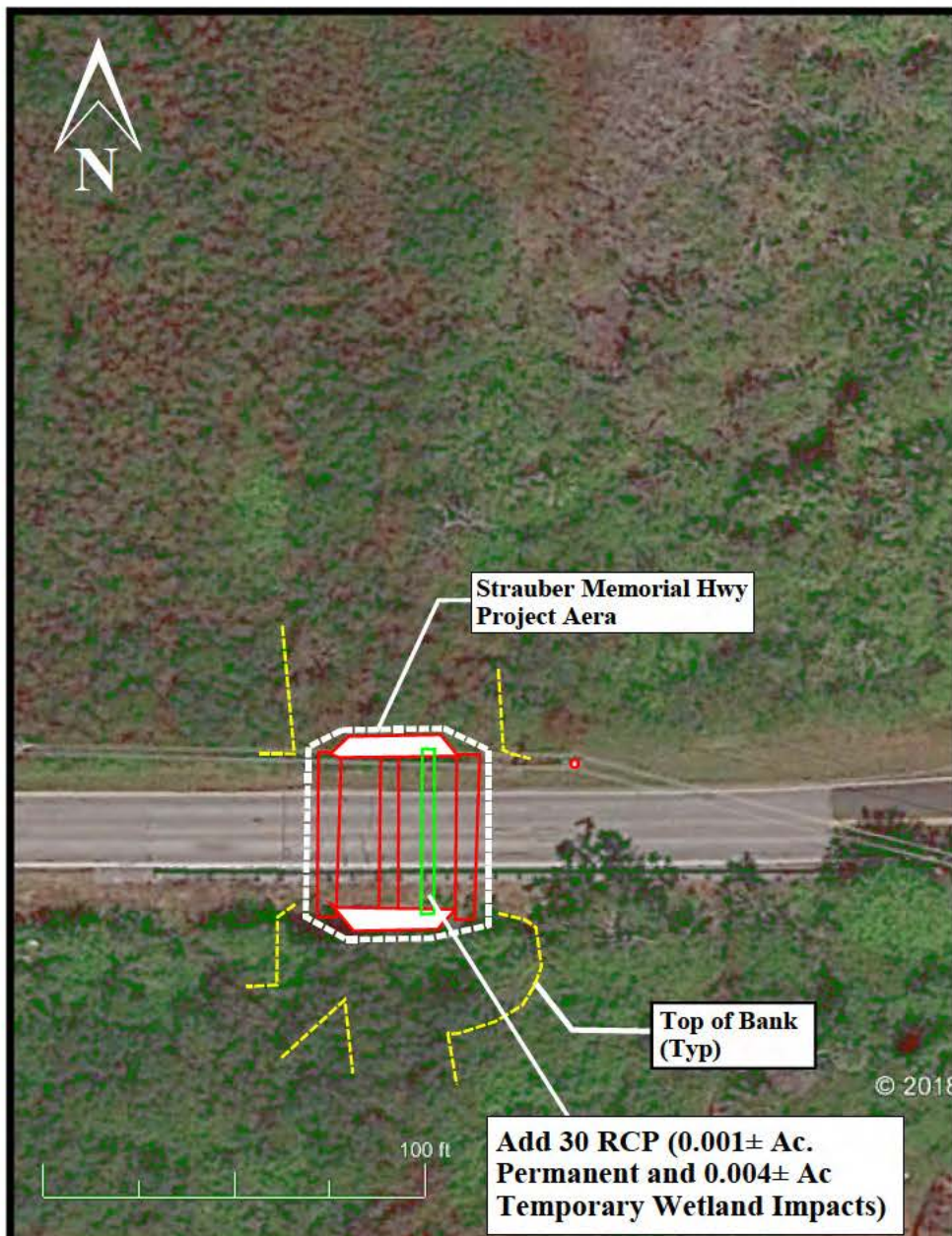
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1539 Alternate Highway 19  
Holiday, Pasco County, Florida*

## Figure 2: Project Aerial

Image From Google Earth  
Image Date: 3/15/18



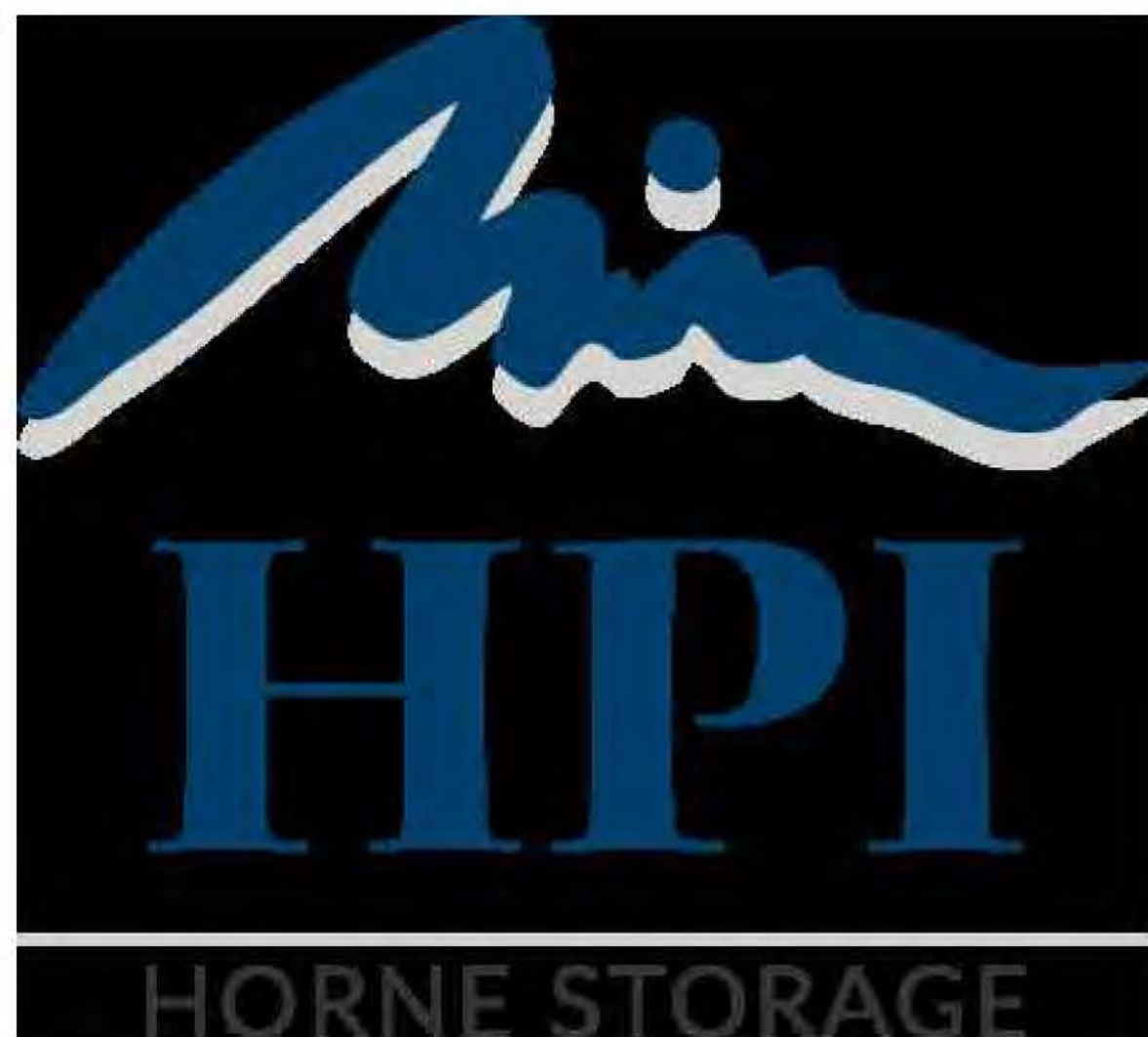


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***HPI Horne Storage, LLC***  
***Pasco County***

**Figure 6: Offsite Project Aerial  
(Tackle Ln and Strauber Memorial Hwy)**





# HPI Horne Storage, L.L.C.

1539 Alternate Highway 19 - Holiday, Florida

THE PROPOSED DRAINAGE PLAN WAS  
BASED ON THE EXISTING FIELD  
CONDITIONS OF THE ABUTTING PROPERTY.

**Owner:**  
19 Junction Land &  
Development, L.L.C.  
34650 US Hwy 19, Suite 108  
Palm Harbor, FL 34684  
Phone: (727) 424-1246  
Henri Balestrieri  
henritropicalwood@yahoo.com

**Developer:**  
HPI Horne Storage, L.L.C.  
101 Westlake Drive  
Suite 148 - Box 7  
Austin, TX 78746  
Phone: (512) 328-8118  
hornehughw@gmail.com  
Hugh Horne

**Civil Engineer:**  
Spring Engineering, Inc.  
3014 U.S. Highway 19 N.  
Holiday, Florida 34691  
Phone: (727) 938-1516  
sei@springengineeringinc.com  
Nick Lingle

**Surveyor:**  
Davris, Inc.  
5830 Nebraska Avenue  
New Port Richey, Florida 34652  
Phone: (727) 232-3800  
chris@ccisurvey.com  
Chris Chittum

Aerial Map:



SECTION 31, TOWNSHIP 26 S, RANGE 16 E  
PARCEL ID: 31-26-16-0010-02700-0100, 31-26-16-0010-00200-0030,  
31-26-16-0010-00500-0010

Location Map:

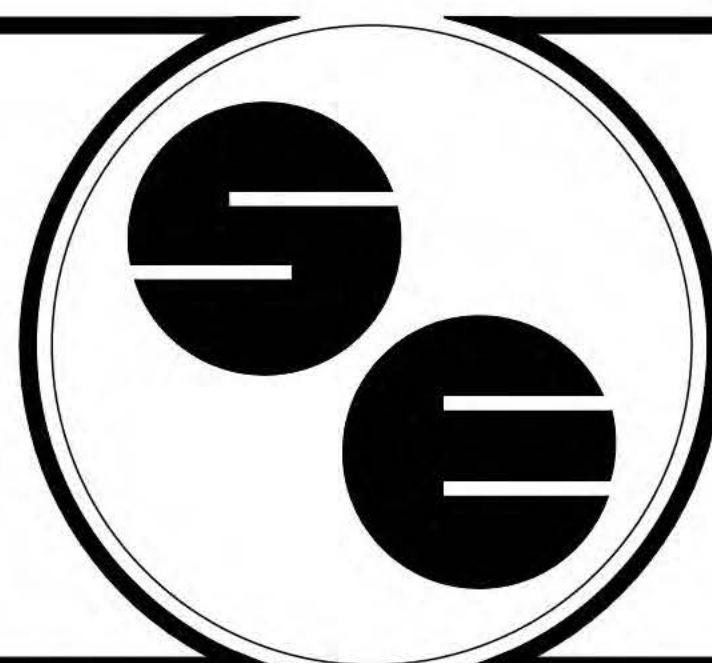


SECTION 31, TOWNSHIP 26 S, RANGE 16 E  
PARCEL ID: 31-26-16-0010-02700-0100, 31-26-16-0010-00200-0030,  
31-26-16-0010-00500-0010

- T1.0 Title Sheet - R6
- C1.0 Existing Conditions - R0
- C1.1 Existing Offsite Conditions - R3
- C1.2 Demolition / Erosion Control Plan - R3
- C1.3 Wetland & Surface Water Impact Plan - R6
- C1.4 Tackle Lane Demolition Plan - R0
- C2.0 Site Plan - R3
- C3.0 Paving, Grading & Drainage Plan - R3
- C3.1 Tackle Lane Paving, Grading & Drainage Plan - R3
- C3.2 Construction Surface Water Management Plan - R2
- C3.3 Paving, Grading & Drainage Details - R3
- C3.4 Sections - R3
- C3.5 Sections and Details - R3
- C3.6 Erosion Control Notes - R0
- C3.7 Tackle Lane Profile and Sections - R3
- C4.0 Utility Plan - R5
- C4.1 Utility Details - R5
- C4.2 Utility Details - R4
- C4.3 Tackle Lane Utility Plan R3
- C5.0 Landscape Plan - R3
- C5.1 Landscape Details - R0
- C6.0 Irrigation Plan - R0
- C8.0 Offsite Construction - R1

## Preliminary / Construction Stormwater Management Plan Simultaneous Submittal

PCU# 18-103.79



**SPRING ENGINEERING, INC.**  
ARCHITECTURE - ENGINEERING - LAND PLANNING  
3014 U.S. HWY. 19, HOLIDAY, FL. (727) 938-1516

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING  
ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED,  
OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE  
USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE  
RETURNED UPON REQUEST.

100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV.	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SWFMD COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS
4	03/07/19	PASCO COUNTY COMMENTS
5	03/20/19	PASCO COUNTY COMMENTS
6	03/25/19	ACOE / SWFMD COMMENTS

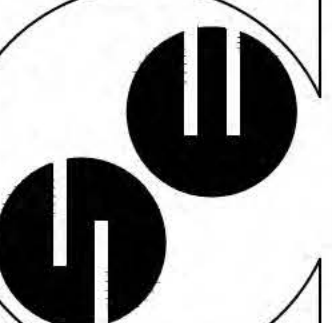
ROLAND P. DOVE, P.E.  
FL REG. NO. 38933  
DATE

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

**SPRING ENGINEERING, INC.**  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005188 & LICENSE NO. AIA-C001747



TITLE SHEET

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10

SHEET NO.

T1.0



SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

Single Family Mobile Home  
District  
Z: R1MH  
LU: RES-9

Manton Lane  
Asphalt - R.O.W. 30'

LEGEND

(D)	DESCRIPTION MEASUREMENT	HYD	FIRE HYDRANT	S R	STATE ROAD
(F)	FIELD MEASUREMENT	ID	IDENTIFICATION	TOS	TOP OF BANK
(P)	PLAN MEASUREMENT	LB	LICENSED BUSINESS	TOS	TOE OF SLOPE
(R)	RECORD MEASUREMENT	LP	LIGHT POLE	TYP	TYPICAL
ALC	ALTERNATE	NGVD	NATIONAL GEODETIC	UC	UTILITY CABINET
BFP	BACKFLOW PREVENTER	NO	NUMBER	UP	UTILITY POLE
C/S	CENTERLINE OF SWALE	NO	NATIONAL DATUM	UV	UTILITY VAULT
CSW	CONCRETE SIDEWALK	NO	NUMBER	U.S.	UNITED STATES
ELEV	ELEVATION	OHW	OVERHEAD WIRE	WL	WETLAND LINE
EMP	ELECTRIC METER PANEL/POST	O.R.	OFFICIAL RECORDS	WM	WATER METER
FDC	FIRE DEPARTMENT CONNECTION	PSM	PROFESSIONAL SURVEYOR	WV	WATER VALVE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	AND MAPPER			MORE OR LESS
GA	GUY ANCHOR	R/W	RIGHT-OF-WAY		
		SWFWM	SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT		

LINE TABLE

WL1	39.50'	N57°25'31"E
WL2	50.82'	N29°44'51"E
WL3	19.28'	N64°52'01"W
WL4	28.33'	N38°43'36"E
WL5	26.75'	S79°02'37"E
WL6	53.76'	N65°59'33"E
WL7	78.38'	N75°57'20"E
WL8	21.14'	N64°42'33"E
WL9	49.65'	S83°30'09"E
WL10	24.12'	N65°00'42"E
WL11	5.19'	N89°45'30"E
WL12	23.97'	N40°09'50"E
WL13	10.87'	N64°28'28"E
WL14	39.58'	N29°23'23"E
WL15	33.27'	N66°43'40"E
WL16	25.01'	N80°26'51"E
WL17	55.59'	S81°24'26"E
WL18	42.64'	S77°08'33"E
WL19	30.12'	S82°56'47"E
WL20	28.53'	S29°00'15"E
WL21	52.99'	S49°07'48"E
WL22	17.93'	S29°29'10"E
WL23	12.15'	S71°52'50"E
WL24	25.14'	N84°45'48"E
WL25	23.06'	N82°23'10"E
WL26	18.98'	S62°04'32"E
WL27	36.61'	S00°48'38"W
WL28	38.19'	N45°21'25"E
WL29	33.87'	S22°16'12"E
WL30	53.50'	S15°18'48"W
WL31	31.32'	N88°46'27"W
WL32	18.10'	N20°28'26"W
WL33	14.12'	S52°34'13"W
WL34	32.15'	S24°23'58"W
WL35	54.34'	N82°52'59"E
WL36	66.32'	S77°51'39"E
WL37	60.11'	S78°41'31"E
WL38	43.93'	N10°41'55"W
WL39	50.19'	N19°05'27"E
WL40	27.69'	N50°18'33"E
WL41	29.03'	N88°25'12"E
WL42	10.42'	S38°05'05"E
WL43	49.63'	N61°37'53"E
WL44	22.34'	S15°57'22"W
WL45	16.02'	S62°36'09"W
WL46	26.02'	S38°09'21"W
WL47	26.89'	S43°18'25"W
WL48	34.40'	S73°10'01"W
WL49	22.12'	S27°00'28"W
WL50	23.19'	S03°54'41"E
WL51	12.72'	S77°22'31"W
WL52	59.08'	N12°32'22"W
WL53	13.46'	N00°37'39"E
WL54	142.50'	N49°19'01"W
L1(D)	3.00'	N49°51'06"W
L1(F)	2.85'	N49°39'41"W

LEGAL DESCRIPTION

LOT 1, BLOCK 5, AND LOT 3 AND 4, BLOCK 2, ADELL GARDENS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 29, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PORTION OF THE VACATED CYPRESS STREET LYING BETWEEN BLOCK 2 AND BLOCK 5 IN ADELL GARDENS PURSUANT TO RESOLUTION RECORDED IN O.R. BOOK 594, PAGE 40, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

AND  
PARCEL 1  
A PORTION OF TRACTS 27 AND 28, TAMPA-TARPON SPRINGS LAND COMPANY SUBDIVISION OF SECTION 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST, AS SHOWN ON PLAT RECORDED IN PLAT BOOK 1, PAGES 68, 69 AND 70 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, BEING MORE FULLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT 27, THENCE NORTH 00°43'52" EAST, 258.44 FEET TO THE WEST SIDE OF TRACT 27 TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE NORTH 00°43'52" EAST, 566.64 FEET TO A CONCRETE MONUMENT ON THE SOUTH RIGHT-OF-WAY OF MANTON ROAD; THENCE ALONG SAID RIGHT-OF-WAY AND PARALLEL TO THE NORTH LINE OF SAID TRACT 27 NORTH 89°58'52" EAST, 350.00 FEET TO A POINT, THENCE SOUTH 70°53'40" EAST, 164.81 FEET, THENCE SOUTH 61°50'30" EAST, 130.46 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF STATE ROAD NO. 595 (U.S. ALT. 19) AS IT IS NOW CONSTRUCTED; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING DIRECTIONS AND DISTANCES SOUTH 40°08'54" WEST, 110.57 FEET; NORTH 49°51'06" WEST, 3.0 FEET; THENCE SOUTH 40°08'54" WEST, 639.22 FEET TO THE POINT OF INTERSECTION OF SAID RIGHT-OF-WAY WITH THE SOUTH LINE OF THE HEREIN DESCRIBED PARCEL; THENCE NORTH 49°51'06" WEST, 186.10 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT PARCEL 1  
LESS, A PORTION OF TRACT 27, TAMPA-TARPON SPRINGS LAND COMPANY SUBDIVISION OF SECTION 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGES 68, 69 AND 70, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, BEING MORE FULLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE, COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT 27, THENCE NORTH 00°43'52" EAST, ALONG THE WESTERLY BOUNDARY OF SAID TRACT 27, 258.44 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID WESTERLY BOUNDARY NORTH 00°43'52" EAST, 161.80 FEET; THENCE SOUTH 49°51'06" EAST, 288.84 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. ALT. 19 (S.R. NO. 595); THENCE SOUTH 40°08'54" WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 125.0 FEET; THENCE NORTH 49°51'06" WEST, 186.10 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT PARCEL 2  
LESS, A PORTION OF TRACT 27, TAMPA-TARPON SPRINGS LAND COMPANY SUBDIVISION OF SECTION 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGES 68, 69 AND 70 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, BEING MORE FULLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT 27, THENCE ALONG THE WEST BOUNDARY OF SAID TRACT 27, NORTH 00°43'52" EAST, 420.24 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE WEST BOUNDARY OF TRACT 27, NORTH 00°43'52" EAST, 124.84 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 5, ADELL GARDENS, RECORDED IN PLAT BOOK 5, PAGE 29, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE SOUTH 49°19'01" EAST, 368.15 FEET TO THE NORTHWEST RIGHT-OF-WAY LINE OF HIGHWAY 19A (S.R. 595); THENCE ALONG SAID NORTHWEST RIGHT-OF-WAY LINE, SOUTH 40°08'54" WEST, 93.00 FEET; THENCE NORTH 49°51'06" WEST, 288.84 FEET TO THE POINT OF BEGINNING.

AREAS

UPLAND No. 1 = 1.6033± ACRES  
UPLAND CUT SURFACE WATER No. 2 = 0.0955± ACRES  
UPLAND No. 3 = 0.719± ACRES  
UPLAND No. 4 = 0.1166± ACRES  
SWFWM WETLAND No. 5 = 2.5491± ACRES  
TOTAL AREA = 5.0835± ACRES

SURVEY NOTES

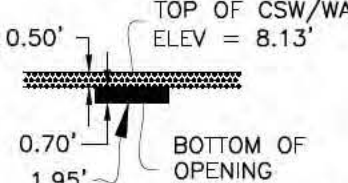
- THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BASIS OF BEARINGS: DEED BEARING OF N89°58'52"E, ALONG THE SOUTH RIGHT-OF-WAY LINE OF MANTON LANE, AS SHOWN HEREON.
- NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
- UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
- DAVIS, INC. ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON, HOWEVER TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL LAND SURVEYOR. THE TREE TYPES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD ONLY BE USED AFTER CONFIRMATION BY A CERTIFIED ARBORIST OR OTHER SUCH PROFESSIONAL.
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. THE FOLLOWING VERTICAL STATION WAS RECOVERED AND UTILIZED FOR THIS SURVEY:  
A) FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK DESIGNATION "97-55-05 RESET" PUBLISHED ELEVATION = 12.03' (NGVD29)
- WETLAND LINES SHOWN HEREON ARE TAKEN FROM A PRIOR SURVEY PERFORMED BY MICHAEL BAKER ASSOCIATES, FILE: ALDIHYAL, DATED FEBRUARY 19, 2008 AND WAS PROVIDED BY THE CLIENT. DAVIS, INC. ACCEPTS NO RESPONSIBILITY FOR LOCATION OF SAID WETLAND LINES.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

DRAINAGE INLET DATA			
STRUCTURE OR MANHOLE	TOP	INVERTS	GRATE
STRUCTURE "A"	7.66'	NORTHWEST = 4.28' NORTHEAST = 3.54' SOUTHWEST = 3.54' (PIPE SIZES AND TYPES UNKNOWN) (FULL OF WATER)	7.66'
STRUCTURE "B"	8.13'	SEE DETAIL "B"	N/A
STRUCTURE "C"	7.15'	NORTHWEST = 4.25' NORTHEAST = 3.00' SOUTHWEST = 3.00' (PIPE SIZES AND TYPES UNKNOWN) (FULL OF WATER)	7.15'
STRUCTURE "D"	8.06'	SEE DETAIL "D"	N/A
MANHOLE "E"	8.45'	BOTTOM ELEV = 2.84' (FULL OF WATER)	N/A
STRUCTURE "F"	8.36'	BOTTOM ELEV = 3.46' (FULL OF WATER)	8.36'

Existing Conditions

Scale: 1"=30'



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS	
REV	DATE

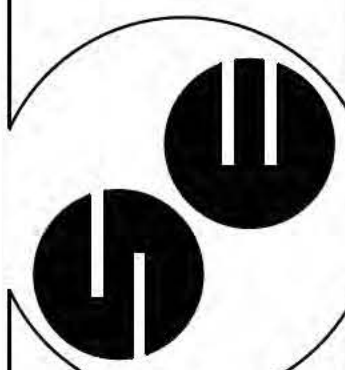
ROLAND P. DOWE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C00147



EXISTING CONDITIONS

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

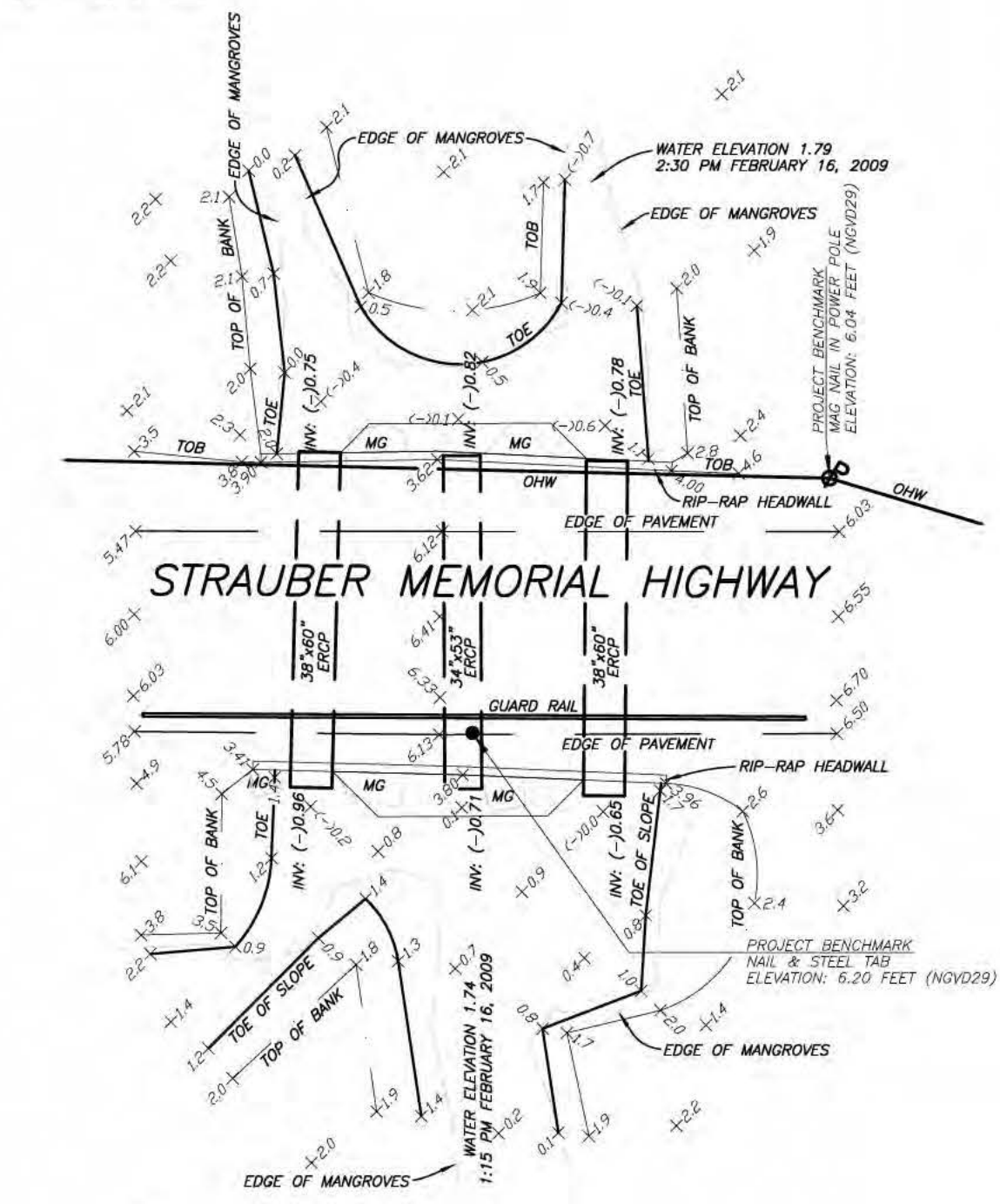
JOB NO.  
2018-10

SHEET NO.  
C1.0



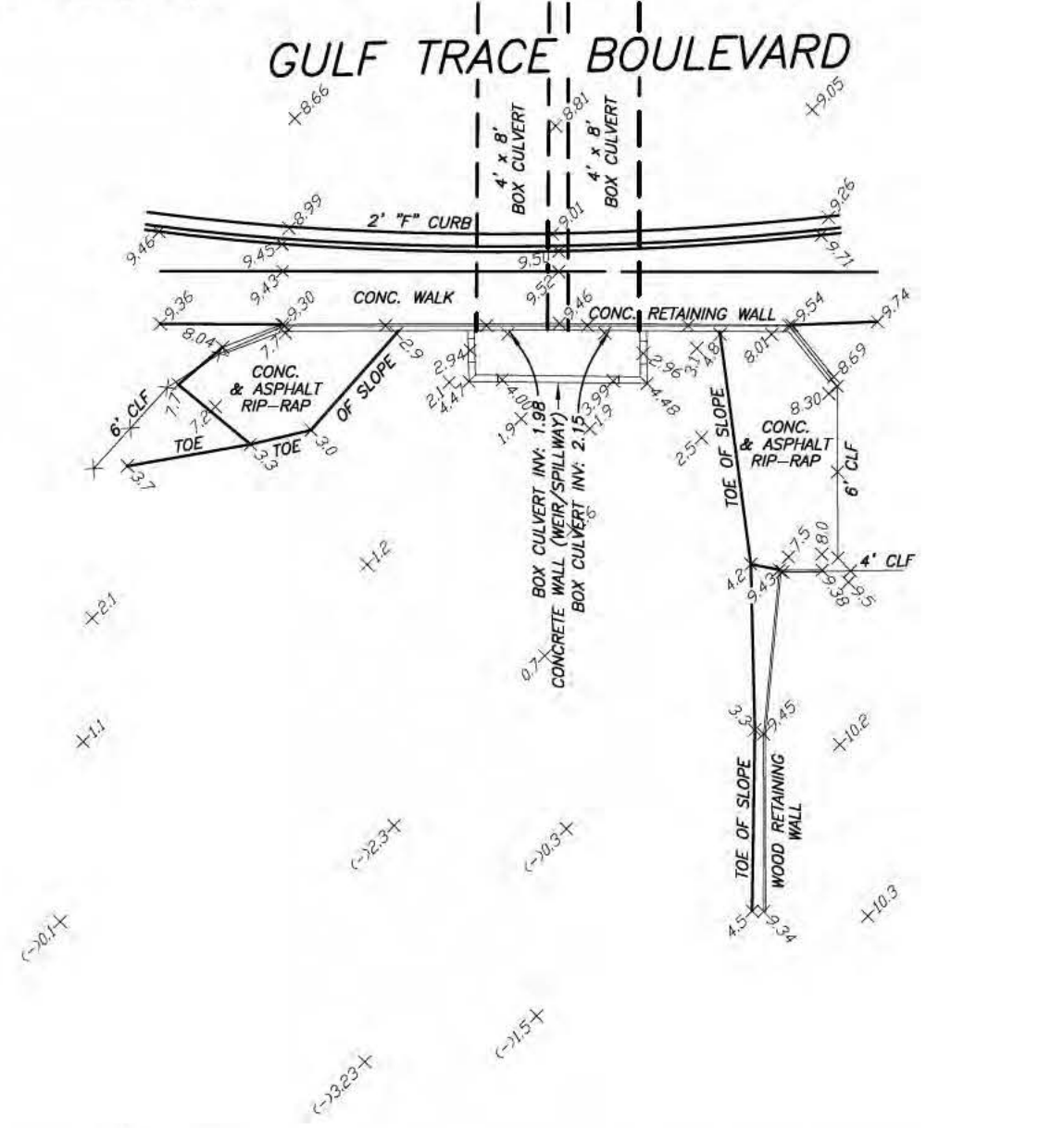
SECTIONS 26 & 31, TOWNSHIP 26 SOUTH,  
RANGE 15 & 16 EAST, PASCO COUNTY, FLORIDA

LEGEND AND ABBREVIATIONS:  
CLF = CHAIN LINK FENCE  
OP = POWER POLE  
OHW = OVERHEAD WIRE  
INV = INVERT ELEVATION  
ERCP = ELLIPTICAL REINFORCED CONCRETE PIPE  
TOB = TOP OF BANK  
TOE = TOE OF SLOPE



Existing Conditions at  
Strauber Memorial Highway

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Existing Conditions

PASCO COUNTY DEVELOPMENT REVIEW  
STANDARD SITE PLAN NOTES

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
2. ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER.
3. INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
4. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
5. HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.

6. THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
7. ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPED IN ACCORDANCE WITH APPLICABLE STANDARDS.
8. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO RIGHT-OF-WAY USE PERMIT.
9. ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
10. NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
11. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
12. ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.
13. IF A PROJECT SITE CONTAINS AN EASEMENT, ESPECIALLY A POWER COMPANY EASEMENT, A LETTER OF NO OBJECTION IS REQUIRED FROM THE EASEMENT HOLDER. BY SIGNING AND SEALING THIS PLAN THE ENGINEER OF RECORD IS ATTESTING THAT HE/SHE HAS IDENTIFIED AND ACCURATELY SHOWN ALL EASEMENTS OF RECORD ON THE PLANS.

SPECIAL INSTRUCTIONS

ALL BIDDERS MUST VISIT THE SITE TO VERIFY CONDITIONS BEFORE SUBMITTING BIDS.

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.

A. THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED.

B. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.

GENERAL NOTES

A. THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO BIDDING AND DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY SUNSHINE ☉ (800)432-4770 AND THE UTILITY COMPANIES IN THE AREA AT LEAST 48 HOURS BEFORE COMMENCING WORK. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. COST TO BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION TO BE ALLOWED. THE INFORMATION CONTAINED ON THIS EXISTING CONDITIONS PLAN WAS PROVIDED BY THE SURVEYOR - SPRING ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS.

B. ALL WORK SHALL BE LEFT IN SUCH A MANNER THAT IT IS SAFE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES. SIGNS AND BARRICADES TO BE ACCORDING TO F.D.O.T. MANUAL OF SAFE PRACTICES; REFERENCE F.D.O.T. INDEXES 600 THROUGH 650 AND 17349 PER ROADWAY AND TRAFFIC DESIGN STANDARDS LATEST EDITION OF D.C. INDEXES 100 THROUGH 116.

**THERE WILL BE NO ON-SITE BURNING.**

C. THE CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS FOR ADDITIONAL CONTROL AND SCOPE OF WORK. THE CONTRACTOR SHALL PROVIDE SPRING ENGINEERING, INC. WITH AS-BUILT DRAWINGS AND SURVEYS UPON COMPLETION OF ALL WORK.

D. THE CONTRACTOR IS REQUIRED TO HAVE A LICENSED PROFESSIONAL SURVEYOR DO ALL BUILDING LAYOUT, CURB & ROADWAY, AND GRADE STAKING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL CONTACT THE ENGINEER'S OFFICE IMMEDIATELY ON ANY CONFLICTS ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSULT WITH THE ENGINEER FOR MAKING ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS; HOWEVER, THIS IN NO WAY RELIEVES THE CONTRACTOR OF HIS RESPONSIBILITY FOR CONSTRUCTING THE PROJECT TO ACCOMPLISH THE INTENT OF THE PLANS.

E. PERMITS: NO CONSTRUCTION SHALL COMMENCE UNTIL ALL APPLICABLE PERMITS HAVE BEEN APPROVED. A RIGHT-OF-WAY USE PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT-OF-WAY, AND NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY PUBLIC RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE PERMIT. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN; APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGN.

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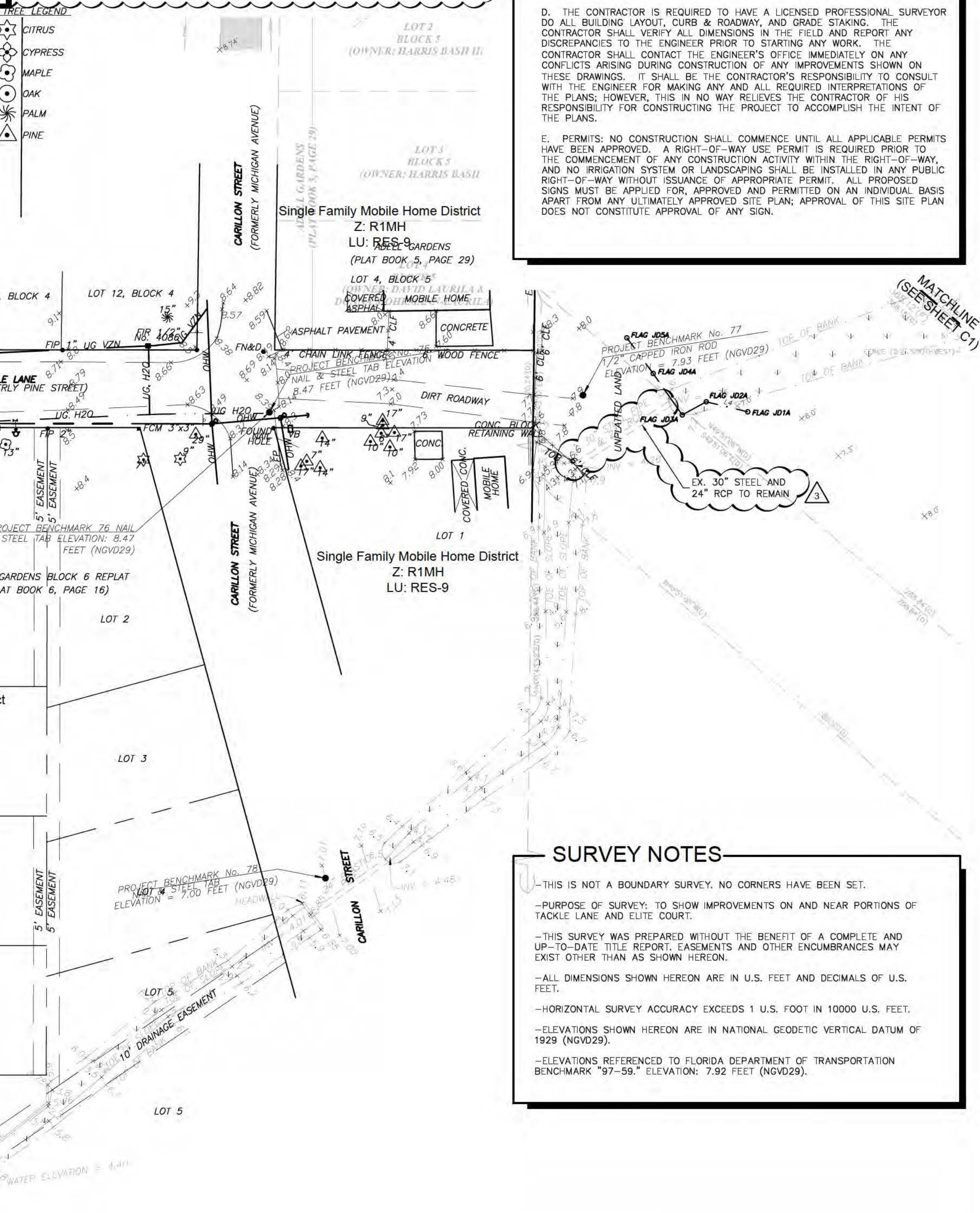
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Existing Conditions at Tackle Lane



SURVEY NOTES

-THIS IS NOT A BOUNDARY SURVEY. NO CORNERS HAVE BEEN SET.

-PURPOSE OF SURVEY: TO SHOW IMPROVEMENTS ON AND NEAR PORTIONS OF TACKLE LANE AND ELITE COURT.

-THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE AND UP-TO-DATE TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST OTHER THAN AS SHOWN HEREON.

-ALL DIMENSIONS SHOWN HEREON ARE IN U.S. FEET AND DECIMALS OF U.S. FEET.

-HORIZONTAL SURVEY ACCURACY EXCEEDS 1 U.S. FOOT IN 10000 U.S. FEET.

-ELEVATIONS SHOWN HEREON ARE IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).

-ELEVATIONS REFERENCED TO FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK "97-59," ELEVATION: 7.92 FEET (NGVD29).

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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS	
REV	DATE
1	12/14/18
2	01/31/19
3	02/27/19

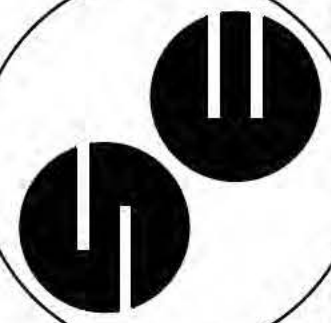
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C00147



EXISTING  
OFFSITE  
CONDITIONS

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.

2018-10

SHEET NO.

C1.1



SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

Single Family Mobile Home District  
Z: R1MH  
LU: RES-9

LEGEND

- CAMPBOR TREE (SIZE AS NOTED)
- CHERRY LAUREL TREE (SIZE AS NOTED)
- CHINA BERRY TREE (SIZE AS NOTED)
- MAPLE TREE (SIZE AS NOTED)
- OAK TREE (SIZE AS NOTED)
- PALM TREE (SIZE AS NOTED)

TREE REMOVAL

PLEASE REFER TO SHEET C5.0 FOR  
TREE REMOVAL CHART.

DEMOLITION GENERAL NOTES

- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL FURNISHED WITH NOTICE OF POSSESSION AND APPROVAL TO PROCEED FROM OWNER. THE CONTRACTOR SHALL COORDINATE THE SCHEDULE WITH EXISTING TENANTS AND ADJACENT PROPERTY OWNERS.
- FOUNDATIONS SLABS AND ALL UNDERGROUND STRUCTURES AND UTILITIES DESIGNATED FOR REMOVAL SHALL BE REMOVED ENTIRELY. AREAS TO BE BACK FILLED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- ALL MATERIAL EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR AS IDENTIFIED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN METERS ARE READY FOR REMOVAL. CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- NOT USED.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.
- ALL EXISTING UTILITIES WITHIN THE BUILDING PAD AREA ARE TO BE COMPLETELY REMOVED, UNLESS NOTED OTHERWISE ON THE PLANS.
- CONTRACTOR TO VERIFY THAT ALL UTILITIES HAVE BEEN ABANDONED OR PROPERLY SHUTOFF PRIOR TO EXCAVATION.
- EXISTING UTILITIES AND TOPO LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATION WHETHER SHOWN ON PLANS OR NOT.
- PRIOR TO INITIATING DEMOLITION WORK THE CONTRACTOR SHALL DEVELOP A VIDEO RECORD OF THE EXISTING STRUCTURES AND SURROUNDING PROPERTIES. THE RECORD SHALL INCLUDE CONDITIONS OF EXISTING STREETS AND ADJACENT PROPERTIES. ONE COPY OF THE VIDEO RECORD SHALL BE PROVIDED TO THE OWNER AND ONE TO THE ENGINEER OF RECORD.
- ALL DEBRIS FROM DEMOLITION NOT BEING REUSED, SHALL BE HAULED OFF SITE AND DISPOSED BY LEGAL MEANS.
- CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY FENCE FOR THE DURATION OF ALL DEMOLITION PHASES. UPON COMPLETION OF DEMOLITION PHASES, FENCE MAINTENANCE SHALL BE RESPONSIBILITY OF THE SITE CONTRACTOR.
- CONTRACTOR SHALL NOT RESTRICT ACCESS TO ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. ACCESS SHALL BE MAINTAINED SO AS NOT TO INTERRUPT NORMAL OPERATIONS OF ADJACENT FACILITIES.
- CONTRACTOR SHALL NOT ALLOW ANY UTILITY OR SERVICES TO THE NEIGHBORING PROPERTY(S) TO BE INTERRUPTED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE RESPECTIVE OWNERS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL UTILITY SERVICES TO THE BUILDING. IF IT IS NECESSARY FOR CONNECTIONS TO BE INTERRUPTED, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SERVICES (I.E. GENERATORS, PORTABLE GAS TANKS, ETC.) THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY ABANDONMENT AND REMOVAL WITH THE RESPECTIVE UTILITY COMPANIES.
- ANY EXISTING UTILITIES COMPLETELY EXCAVATED AND REMOVED SHALL BE BACKFILLED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- PENDING APPROVAL FROM LOCAL JURISDICTION OWNER, ENGINEER, AND CONTRACTOR MAY USE ON-SITE REMOVED PAVING MATERIALS AS FILL MATERIAL IN PROPOSED PARKING AREAS. ASPHALT MUST BE GRUND UP TO 1" - 1 1/2" SIZE CRUSHED MATERIAL VERIFY WITH ON-SITE GEOTECHNICAL ENGINEER THAT MATERIALS ARE SUITABLE FOR PLACEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING AND PLACEMENT OF RECYCLED MATERIALS.
- WORK CANNOT OCCUR OUTSIDE OF THE DEMOLITION LIMITS WITHOUT PRIOR CONSENT OF OWNER, ADJACENT OWNER, AND LOCAL JURISDICTION.
- EROSION CONTROL PRACTICES AND TREE PROTECTION MUST BE IN PLACE AND MAINTAINED DURING DEMOLITION.
- GENERAL CONTRACTOR IS TO PRESENT LICENSING INFORMATION TO THE STATE ENVIRONMENTAL PROTECTION AGENCY THIRTY (30) DAYS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION.

EROSION CONTROL NOTES

- THE PERIMETER CONTROLS (SILT FENCE AND HAY BALES) SHALL BE INSTALLED AROUND THE ENTIRE AREA TO BE DISTURBED, AS SHOWN.
- HAY BALES TO BE PROVIDED AROUND THE NEW CATCH BASINS IMMEDIATELY AFTER THE BASINS ARE INSTALLED AND TEMPORARILY REMOVED FOR PAVEMENT INSTALLATION.
- HAY BALE BARRIERS SHALL BE PROVIDED IN EXISTING UPLAND DITCHES DURING PIPE PLACEMENT AND DITCH FILLING OPERATIONS. SEE DETAIL THIS SHEET.
- WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER OR SANITARY WASTE ARE TO BE PROPERLY CONTROLLED AND NOT DISCHARGED TO THE DRAINAGE DITCHES.
- TRUCKING OF SEDIMENTS AND GENERATION OF DUST BY OFF-SITE VEHICLES SHALL BE MINIMIZED.
- PROVIDE TEMPORARY DISTURBED AREA STABILIZATION BY SPREADING GRASS SEED AT THE RATE OF 168 LBS PER ACRE.
- THE APPLICATION, GENERATION AND MIGRATION OF TOXIC SUBSTANCES SHALL BE LIMITED AND PROPERLY STORED AND DISPOSED OF.
- EROSION CONTROL DEVICES SHALL BE MAINTAINED IN PROPER WORKING ORDER THROUGHOUT THE CONSTRUCTION. MAINTENANCE SHALL BE PERFORMED AS NEEDED. DEVICES SHALL BE REPAIRED AND/OR REPLACED AS REQUIRED. MATERIAL SHALL BE REMOVED WHEN SEDIMENT BUILD-UP REACHES 50% OF THE HEIGHT OF THE DEVICE.
- ALL EFFORTS MUST BE UNDERTAKEN TO PREVENT ANY EROSION OR TURBID WATER FROM BEING DISCHARGED INTO WETLANDS AND/OR WATERS OF THE COUNTY. TURBID DISCHARGES THAT EXCEED 50 JTU'S (JACKSON TURBIDITY UNITS) OR 29 NTU'S (NEPHELOMETRIC TURBIDITY UNITS) ABOVE BACKGROUND LEVELS SHALL NOT BE EXCEEDED. HAY BALES, SILT FENCES OR OTHER EPC APPROVED METHODS OF EROSION/TURBIDITY CONTROL ARE REQUIRED. CONTROLS SHOWN ARE MINIMUM REQUIREMENTS. INSTALLATION AND MAINTENANCE OF ADEQUATE CONTROLS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL ALL LOOSE SOILS HAVE BEEN STABILIZED. CONTROL DEVICES SHALL BE INSPECTED REGULARLY AND MODIFIED AS REQUIRED FOR PROPER OPERATION.
- PLEASE REMOVE EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION.

EROSION CONTROL

TREE BARRICADES AND EROSION CONTROL: ALL EROSION CONTROL MEASURES (SILT BARRIERS) AND TREE BARRICADES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ENCROACHMENT OR FAILURE TO MAINTAIN THESE BARRICADES COULD RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED AT THE END OF EACH WORKING DAY. HAY BALES SHALL BE INSTALLED ONCE PERIMETER GRADING IS COMPLETED. STORMWATER FACILITIES SHALL HAVE HAY BALES PLACED AROUND THEIR ENTRANCES TO PREVENT SEDIMENT FROM BEING TRANSPORTED INTO THE STORMWATER SYSTEM. HAY BALES SHALL BE PLACED ALONG THE PERIMETER OF ALL DOWNSTREAM BOUNDARIES TO PROVIDE FILTRATION OF RUNOFF DURING CONSTRUCTION. THE HAY BALES SHALL REMAIN IN PLACE UNTIL THE ENGINEER HAS APPROVED THE VEGETATIVE COVER ALONG EMBANKMENTS PROVIDING RUNOFF TO THE PERIMETER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOIL EROSION CONTROL DEVICES. IF AT ANY TIME DRAINAGE STRUCTURES OR EROSION CONTROL DEVICES BECOME DAMAGED OR INOPERABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THEM.

THE CONTRACTOR IS EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY THAT ADJACENT PROPERTIES ARE NOT ADVERSELY IMPACTED BY EROSION OR SEDIMENT LEAVING THE SITE. CLEARED AREAS SHALL BE STABILIZED EARLY IN THE CONSTRUCTION PROCESS AND IF NATURAL PRECIPITATION DOES NOT PROVIDE PERIODIC WETTING OF THE SITE, THEN THE CONTRACTOR SHALL PROVIDE A METHOD OF SPRAYING THE SITE TO PREVENT WIND EROSION. CONTRACTOR SHALL CLEAR ONLY THAT AREA SHOWN TO BE CLEARED ON THE PLAN. CARE SHALL BE TAKEN TO DISTURB THE EXISTING VEGETATION IN ONLY THOSE AREAS UNDER CONSTRUCTION AT THAT TIME.

ALL CLEAR SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3 1/2) FEET IN HEIGHT. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRILLING OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE LOCAL GOVERNMENT. ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS.

NOTE

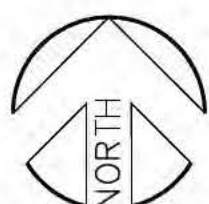
- PRIOR TO THE START OF THE CLEARING AND GRUBBING OR ANY SOIL DISTURBANCE, CONTACT PC STORMWATER MGMT. AT (727) 834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.
- THE CONTRACTOR MUST PROVIDE A DRAINAGE PLAN, IF APPLICABLE, TO PASCO COUNTY ENGINEERING INSPECTIONS DEPARTMENT AT (727) 834-3670 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING.

DEMOLITION KEYNOTES

- WETLAND IMPACT, REFER TO SHEET C1.3 FOR IMPACT DETAILS AND SHEET C3 FOR NEW GRADES.
- REMOVE EXISTING SANITARY SYSTEM AND SEPTIC MOUND BY A LICENSED SEPTIC SYSTEM INSTALLER.
- REMOVE EXISTING BUILDING, METAL COOLER, AND CONCRETE SLABS.
- NOT USED.
- REMOVE EXISTING ASPHALT PAVING FULL DEPTH.
- REMOVE EXISTING ACCESS DRIVE, STORMWATER PIPE, AND STORMWATER STRUCTURES. THIS AREA IS TO BE SODDED AND RETURNED TO THE ORIGINAL ROADWAY TYPICAL SECTION. REFER TO SHEET C3 FOR NEW GRADES.
- POSSIBLE EXISTING WELL SHALL BE PLUGGED BY FILLING FROM BOTTOM TO TOP WITH GROUT. THE WORK SHALL BE PERFORMED BY A LICENSED WATER WELL CONTRACTOR EXCEPT FOR WELLS EXEMPTED UNDER SUBSECTION 400-3.05(1) AND PARAGRAPH 400-3.301(1)(c), F.A.C. ALL WORK MUST COMPLY WITH F.A.C. 400-3.531.
- DRAINAGE EASEMENT TO BE VACATED, REFER TO SHEET C2 FOR PROPOSED DRAINAGE EASEMENT LOCATION.
- REMOVE BOLLARDS AND BACK FLOW PREVENTER, CAP OFF THE LINE PER PASCO COUNTY UTILITY STANDARDS.
- ±1,410 L.F. OF PERIMETER SILT FENCE.
- ±610 L.F. DOUBLE ROW TURBIDITY BARRIER.
- 1,133 NON-IMPACTED WETLAND.
- REMOVE EXISTING TREE IN ITS ENTIRETY.

Demolition / Erosion Control Plan

Scale: 1"=30'



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SWFWD COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

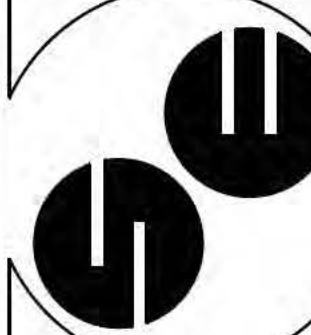
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C00147



DEMOLITION /  
EROSION  
CONTROL PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.

2018-10

SHEET NO.

C1.2

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SECTIONS 26 & 31, TOWNSHIP 26 SOUTH,  
RANGE 15 & 16 EAST PASCO COUNTY, FLORIDA

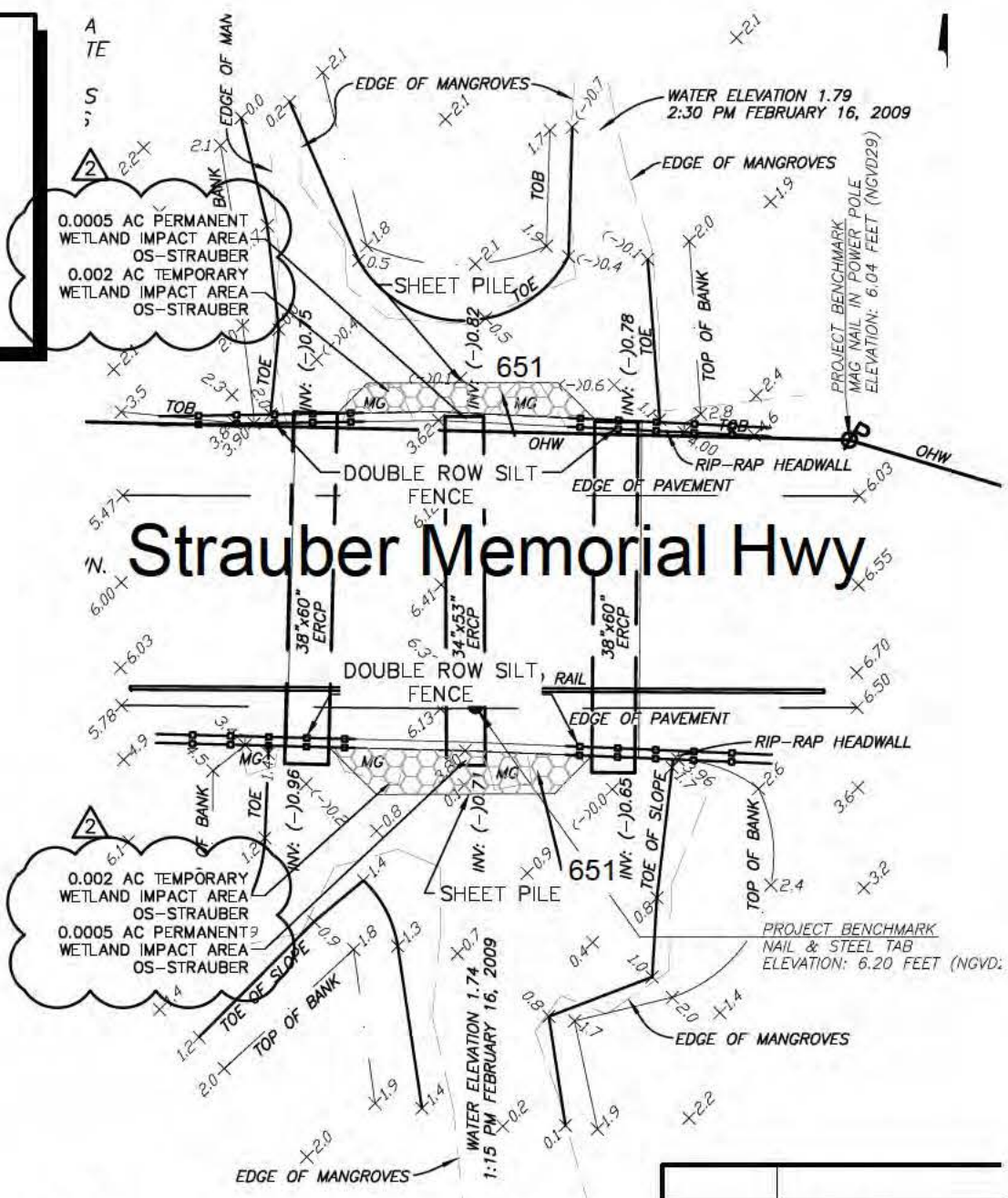
Manton Lane  
Asphalt - R.O.W. 30'

CSWMP SIGNATURES

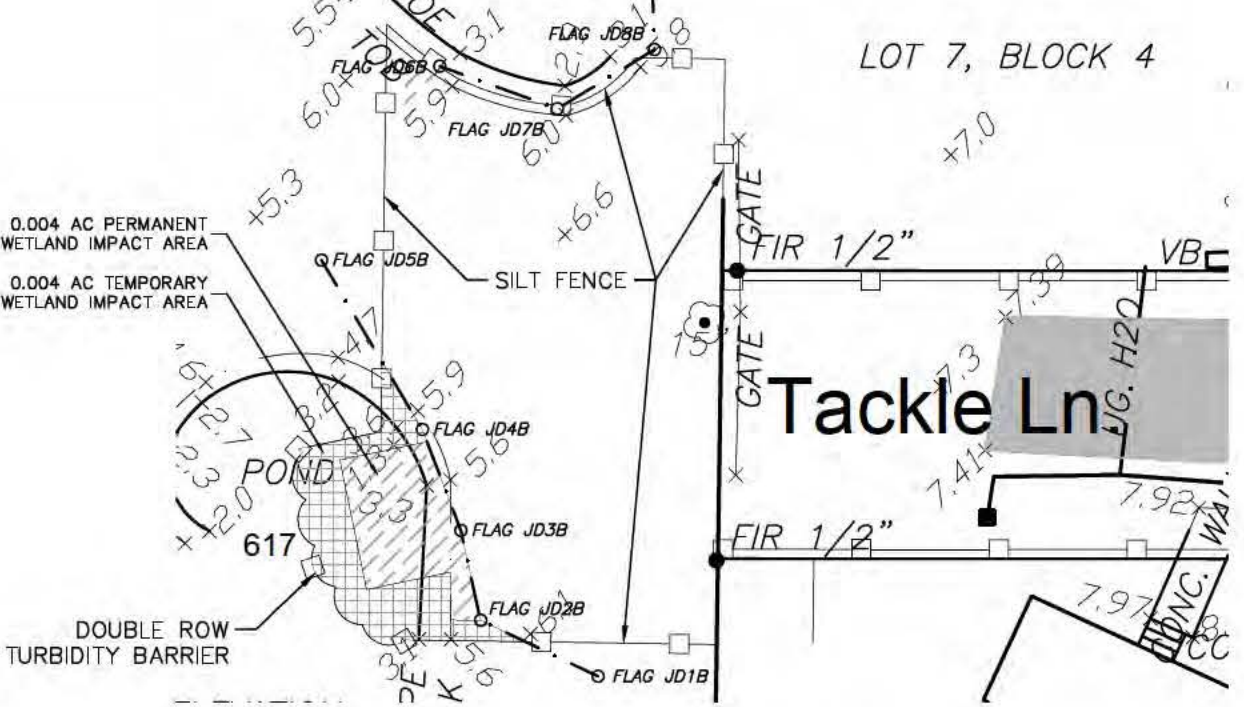
OWNER: 19 JUNCTION LAND & DEVELOPMENT L.L.C.  
34650 US 19, SUITE 108  
PALM HARBOR, FLORIDA 34684  
PHONE: (727) 424-1246

ENGINEER: SPRING ENGINEERING, INC.  
3014 U.S. HIGHWAY 19  
HOLIDAY, FLORIDA 34691  
PHONE: (727) 938-1516

NIKITAS KAZOURIS  
ROLAND P. DOVE, P.E.  
PROJECT ENGINEER #36933



Wetland & Surface Water  
Impact Plan at Strauber  
Memorial Highway



Wetland & Surface Water Impact  
Plan at OS Tackle Lane West

WETLAND & SURFACE WATER SUMMARY									
WETLAND & SURFACE WATER I.D.	WETLAND & SURFACE WATER TYPE	WETLAND & SURFACE WATER SIZE	WETLAND & SURFACE WATER NOT IMPACTED	TEMPORARY WETLAND & SURFACE WATER IMPACTS			PERMANENT WETLAND & SURFACE WATER IMPACTS		
				WETLAND & SURFACE WATER TYPE	IMPACT SIZE	IMPACT TYPE	WETLAND & SURFACE WATER TYPE	IMPACT SIZE	IMPACT TYPE
1-A	617 (MIXED WETLAND HARDWOODS)	1.980 AC.	1.230 AC.				617 (MIXED WETLAND HARDWOODS)	0.710 AC.	FILL
1-A2	617 (MIXED WETLAND HARDWOODS)	0.020 AC.	0.000 AC.				617 (MIXED WETLAND HARDWOODS)	0.020 AC.	CLEARING
1-B	619 (EXOTIC WETLAND HARDWOODS)	0.610 AC.	0.000 AC.				619 (EXOTIC WETLAND HARDWOODS)	0.610 AC.	FILL
1-C	640 (NON-FORESTED UPLAND-CUT DITCH)	0.097 AC.	0.000 AC.				640 (NON-FORESTED UPLAND-CUT DITCH)	0.097 AC.	FILL
OS-TACKLE LANE EAST	617 (MIXED WETLAND HARDWOODS)	0.007 AC.	0.000 AC.				617 (MIXED WETLAND HARDWOODS)	0.007 AC.	FILL
OS-TACKLE LANE WEST	617 (MIXED WETLAND HARDWOODS)	0.008 AC.	0.000 AC.	617 (MIXED WETLAND HARDWOODS)	0.004 AC.	DREDGE	617 (MIXED WETLAND HARDWOODS)	0.004 AC.	FILL
OS-STRAUBER	651 (SALT FLATS)	0.005 AC.	0.000 AC.	651 (SALT FLATS)	0.004 AC.	DREDGE	651 (TIDAL FLATS)	0.001 AC.	FILL
PROJECT TOTALS		2.727 AC.	1.230 AC.		0.008 AC.			1.449 AC.	

GENERAL NOTES

UPLAND BUFFER LINE SHALL BE CLEARLY FIELD DEMARCATED (WHERE APPLICABLE) PRIOR TO ANY CONSTRUCTION ACTIVITIES.

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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SWM COMMENTS
3	02/15/19	PASCO COUNTY COMMENTS
6	03/25/19	ACOE/SWMD COMMENTS

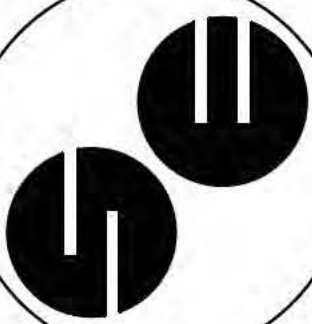
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933  
DATE

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



WETLAND & SURFACE WATER  
IMPACT PLAN /  
EROSION CONTROL  
PLAN / CSWMP

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
C1.3



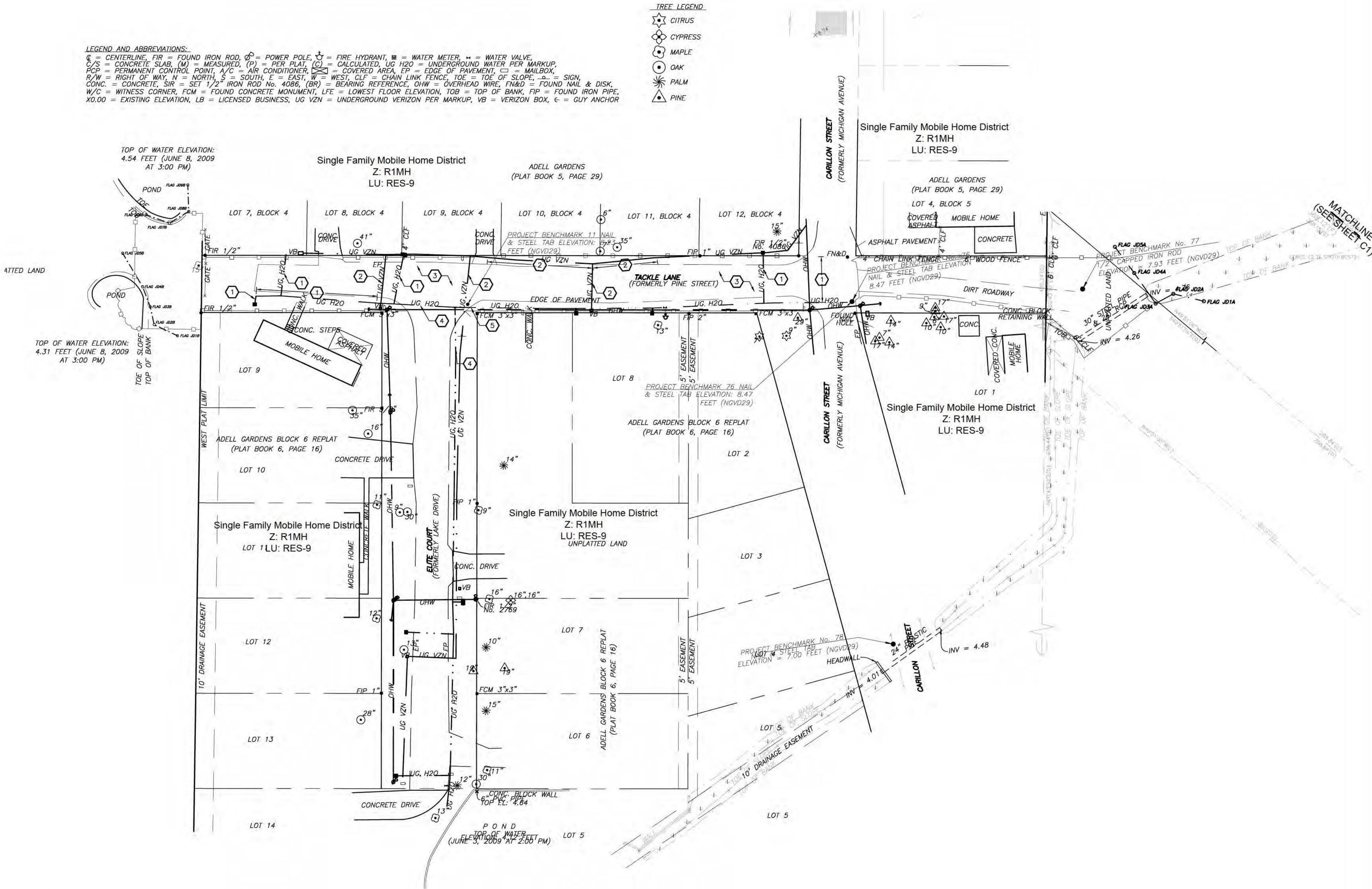
SECTIONS 26 & 31, TOWNSHIP 26 SOUTH,  
RANGE 15 & 16 EAST, PASCO COUNTY, FLORIDA

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING UNDERGROUND WATERMAIN AND/OR WATER SERVICE CONNECTION. SERVICE SHALL NOT BE LEFT INTERRUPTED BEYOND THE END OF THE CONSTRUCTION DAY. COORDINATE WITH PASCO COUNTY UTILITIES.
- 2 REMOVE EXISTING UNDERGROUND VERIZON LINE. COORDINATE WITH VERIZON.
- 3 REMOVE EXISTING ASPHALT AND BASE FULL DEPTH.
- 4 EX. 4" WATERMAIN TO REMAIN.
- 5 EX. 6" WATERMAIN TO REMAIN.

LEGEND AND ABBREVIATIONS:  
C = CENTERLINE, FIR = FOUND IRON ROD, P = POWER POLE, F = FIRE HYDRANT, W = WATER METER, W = WATER VALVE, C/S = CONCRETE SLAB, (M) = MEASURED, (P) = PER PLAT, (C) = CALCULATED, UG H2O = UNDERGROUND WATER PER MARKUP, PCP = PERMANENT CONTROL POINT, A/C = AIR CONDITIONER, [ ] = COVERED AREA, EP = EDGE OF PAVEMENT, [ ] = MAILBOX, R/W = RIGHT OF WAY, N = NORTH, S = SOUTH, E = EAST, W = WEST, CLF = CHAIN-LINK FENCE, TOE = TOE OF SLOPE, -B = SIGN, CONC. = CONCRETE, SIR = SET 1/2" IRON ROD No. 4086, (BR) = BEARING REFERENCE, OHW = OVERHEAD WIRE, FN&D = FOUND NAIL & DISK, W/C = WITNESS CORNER, FCM = FOUND CONCRETE MONUMENT, LFE = LOWEST FLOOR ELEVATION, TOB = TOP OF BANK, FIP = FOUND IRON PIPE, X0.00 = EXISTING ELEVATION, LB = LICENSED BUSINESS, UG VZN = UNDERGROUND VERIZON PER MARKUP, VB = VERIZON BOX, G = GUY ANCHOR

TREE LEGEND  
CITRUS  
CYPRESS  
MAPLE  
OAK  
PALM  
PINE



Tackle Lane Demolition Plan

Scale: 1"=30'



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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION

ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

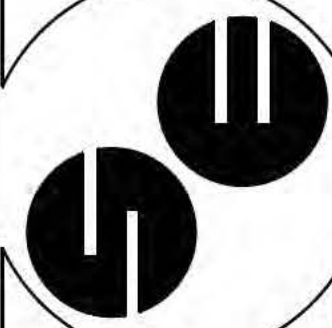
DATE

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
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3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



TACKLE LANE  
DEMOLITION  
PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.

2018-10

SHEET NO.

C1.4

ROLAND P. DOVE, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 36933  
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROLAND P. DOVE PE ON 22 FEBRUARY 2018 USING A SHA-1  
AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1



SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

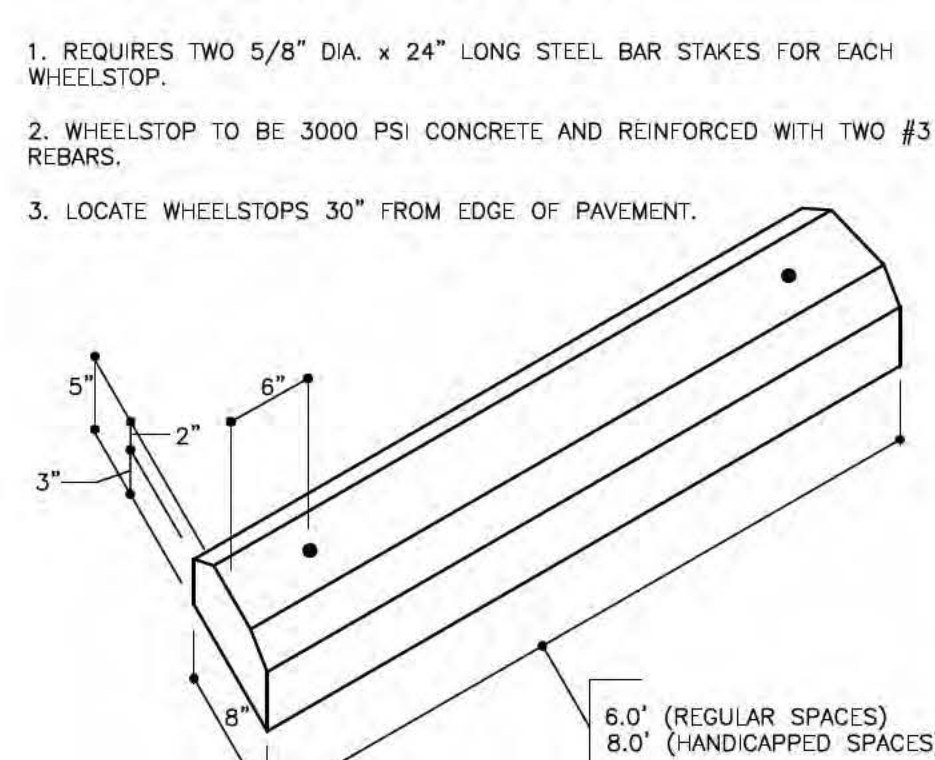
Single Family Mobile Home District  
Z: R1MH  
LU: RES-9

SITE PREPARATION

ALL ORGANIC MATERIAL SHALL BE REMOVED FROM BENEATH THE FOOTINGS, SLABS AND PAVEMENT AND REPLACED WITH COMPACTED INORGANIC GRANULAR BACKFILL. EXCAVATION OF UNSUITABLE MATERIALS SHOULD EXTEND A MINIMUM DISTANCE OF 5' BEYOND THE FOOTPRINT OF THE BUILDING OR EDGE OF PAVEMENT.

FOR ADDITIONAL INFORMATION ON THE REQUIRED SITE PREPARATION REFER TO THE REPORT OF GEOTECHNICAL SUBSURFACE EXPLORATION.

WHEEL STOP DETAIL



SITE DATA

PROJECT NAME: HPI HORNE STORAGE - HOLIDAY, FLORIDA  
OWNER: HPI HORNE STORAGE LLC.  
101 WESTLAKE DRIVE  
SUITE 148 - BOX 7  
AUSTIN, TX 78746  
PHONE: (512) 328-8118  
hornehughes@gmail.com  
HUGH W. HORNE  
ENGINEER: SPRING ENGINEERING, INC.  
3014 US HIGHWAY 19  
HOLIDAY, FLORIDA 34691  
PHONE: (727) 938-1516  
se@springengineeringinc.com  
NICHOLAS D. LINGLE  
SURVEYOR: DAVIS, INC.  
5830 NEBRASKA AVENUE  
NEW PORT RICHEY, FLORIDA 34652  
PHONE: (727) 232-3800  
chris@ccsurvey.com  
CHRIS CHITTUM  
PHYSICAL ADDRESS: 1539 ALTERNATE HWY 19, HOLIDAY, FL 34691-5233  
"ORIGINAL" ZONING: C2 (COMMERCIAL) CU/8-06 11/28/17  
FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)  
FLOOD ZONE: "AE 11", COMMUNITY PANEL 121010 0361 F (SEPT. 26, 2014)  
PARCEL I.D. NO. 31-26-16-0010-02700-0100  
31-26-16-0010-00200-0030  
31-26-16-0010-00500-0100  
"ORIGINAL" ZONING: NORTH: C2/R1MH  
SOUTH: C2  
EAST: C2 / ALTERNATE HWY 19 R.O.W.  
WEST: R1MH  
FUTURE LAND USE CLASSIFICATION: NORTH: RES-9 / R.O.R.  
SOUTH: RES-9  
EAST: R.O.R. / ALTERNATE U.S. 19  
WEST: RES-9  
NEW PROPOSED BUILDING: 3-STORY, 122,064 S.F. SELF-STORAGE FACILITY  
NEW BUILDING HEIGHT: ±51.0' (60' MAX.)  
NEW BUILDING CONSTRUCTION: TYPE IIB UNPROTECTED (FBC, 2007 ED.)  
(SPRINKLERED)  
METHOD OF FIRE PROTECTION: FIRE HYDRANT  
SITE AREAS: 221,442 SF OR 5.0836 ACRES  
FLOOR AREA RATIO: 122,064 S.F. / 221,442 S.F. = 0.55  
PROJECT AREA: 221,442 SF (5.08 AC) 169,704 SF (3.90 AC)  
EXISTING PROPOSED  
- TOTAL IMPERVIOUS AREA 10,488 SF (4.7%) 75,715 SF (44.6%)  
- PERVIOUS AREA 210,954 SF (95.3%) 93,989 SF (55.4%)  
- PAVEMENT AREA 7,660 SF (3.5%) 35,027 SF (21%)  
- PROPOSED BLDGS. 2,828 SF (1.2%) 40,688 SF (24%)  
OFFSITE PROJECT AREAS:  
- ALTERNATE 19 IMPROVEMENTS 1.72 ACRES  
- TACKLE LANE STORMWATER PIPE 0.42 ACRES  
- GULF TRACE CONTROL STRUCTURE 0.00 ACRES  
- STRAUER MEMORIAL CULVERT 0.05 ACRES  
LANDSCAPE BUFFERS:  
NORTH: TYPE A/B = 10'  
SOUTHEAST: TYPE D = 15' (100'+ R.O.W.)  
SOUTHWEST: TYPE A = 10'  
WEST: TYPE B = 15'  
SETBACKS:  
NORTH = 25'  
SOUTHWEST = 0'  
WEST = 30'  
REQUIRED PARKING: STORAGE / OFFICE 1 PARKING SPACE / 300 S.F. OF GROSS FLOOR AREA, ONLY OFFICE REQUIRED.  
1,100 S.F. / 300 S.F. = 4 SPACES REQUIRED (9'x20')  
PROPOSED PARKING: 5 REGULAR + 1 HANDICAP = 6 SPACES  
WATER: PASCO COUNTY UTILITIES  
SEWER: PASCO COUNTY UTILITIES  
FIRE: PASCO COUNTY FIRE DEPARTMENT  
ELECTRIC: DUKE ENERGY  
TELEPHONE: VERIZON

SITE KEYNOTES

- HANDICAP SPACE W/ H.C. PARKING SIGN. REFER TO DETAIL ON SHEET C3.3.
- INSTALL 24" WHITE STOP BAR & STOP SIGN PER F.D.O.T. STANDARD INDEX NO. 17346.
- NEW ASPHALT PAVEMENT, REFER TO DETAIL ON SHEET C3.3.
- INSTALL NEW DRIVEWAY PER F.D.O.T. STANDARD INDEX NO. 515.
- TYPE "D" CURB PER F.D.O.T. INDEX NO. 300.
- 4" THICK CONCRETE SIDEWALK. REFER TO DETAILS ON C3.3.
- WHEEL STOPS.
- 4" WHITE ALKYD-READY MIX PAINTED PARKING STRIPE.
- 20'x20' SITE TRIANGLE.
- NOT USED.
- LANDSCAPE AREA.
- F.D.O.T. SITE TRIANGLE.
- SITE LIGHTING, REFER TO UTILITY PLAN ON SHEET C4.
- NOT USED.
- NOT USED.
- CONC. TRANSFORMER PAD, REFER TO UTILITY PLAN ON SHEET C4.
- 6" HIGH ALUMINUM SPEARHEAD FENCE.
- NOT USED.
- LIFT STATION, REFER TO SHEET C4.2.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- MONUMENT SIGN, TO BE PERMITTED BY OTHERS.
- DETECTABLE WARNING PAVERS TO COMPLY WITH FEDERAL, STATE AND LOCAL STANDARDS ALONG ENTIRE LENGTH OF CONCRETE TO ASPHALT TRANSITION, REFER TO DETAIL ON SHEET C3.3.
- NOT USED.
- END OF ROAD MARKERS SHALL CONSIST OF NINE RED REFLECTORS MOUNTED ON A RED REFLECTIVE BACKGROUND OR CONSIST OF A REFLECTIVE PANEL OF THE SAME SIZE WITH TYPE III-A, II-B OR III-C RED SHEETING PER F.D.O.T. INDEX 17349.
- 6" 3000 PSI CONCRETE SLAB. CONSTRUCTION JOINT 10' ON CENTER.
- 5' SIDEWALK PER FOOT INDEX 310.
- 6" BLACK VINYL COATED CHAIN LINK FENCE.
- BUS STOP PER PASCO COUNTY PUBLIC TRANSPORTATION (PCPT) SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH PCPT.
- DUMPSTER ENCLOSURE (SEE DETAIL ON SHEET C3.3).
- CROSSWALK PER F.D.O.T. INDEX 17346.
- RIP RAP VELOCITY DISSIPATOR.

SITE GENERAL NOTES

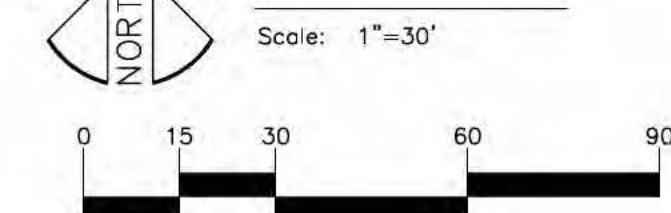
S1. STRIPING: HANDICAPPED PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS. ALL ON-SITE PARKING SPACES SHALL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.

S2. CONCRETE: CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. PORTLAND CEMENT SHALL CONFORM TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33. WIRE FABRIC SHALL CONFORM TO ASTM A185. READY MIXED CONCRETE SHALL CONFORM TO ASTM C-94. SIX INCH MESH, 10 GAUGE WIRE FABRIC SHALL BE USED IN SLABS THICKER THAN FOUR INCHES. STANDARD THICKNESS SHALL BE FOUR INCHES, EXCEPT AT DRIVEWAYS WHERE THE THICKNESS SHALL BE SIX INCHES. SURFACES SHALL BE FREE FROM TROWEL OR MACHINE MARKS. SURFACE VARIATIONS SHALL NOT EXCEED 1/4" INCH UNDER A 10 FOOT STRAIGHTEDGE. EDGE OF SLABS SHALL HAVE A SMOOTH FINISH. SIDEWALKS SHALL HAVE A BROOM FINISH.

S3. ALL FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1' ABOVE THE BASE FLOOD ELEVATION OR AS REQUIRED BY THE LDD SECTION 701.

Site Plan

Scale: 1"=30'



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS		
REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SWFWD COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

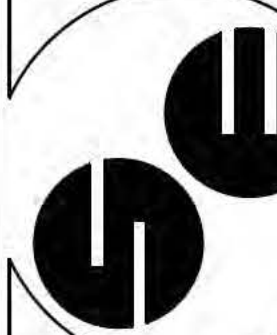
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 0005158 & LICENSE NO. AA-C001747



SITE PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.

2018-10

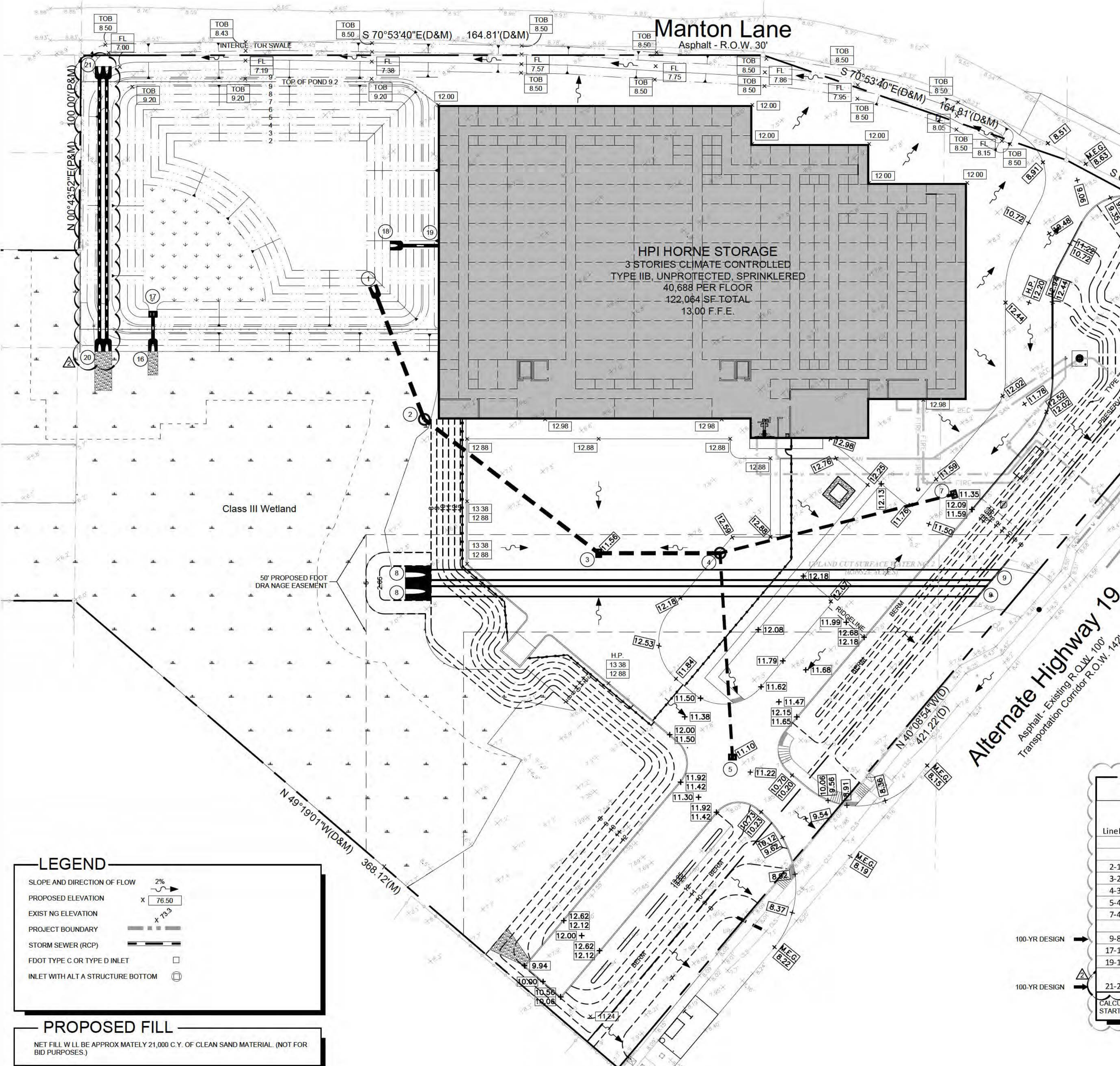
SHEET NO.

C2.0

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SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA



**P, G & D GENERAL NOTES**

P1. PAVING: ALL PAVING SURFACES AT INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTH TRANSITION WITH NO BREAKS IN GRADE AND NO STEEP OR REVERSE CROSS SLOPES. AT APPROACHES TO AND INTERSECTIONS WITH EXISTING GRADES, IT MAY BE NECESSARY AND ADVISABLE TO MAKE MINOR LOCAL FIELD ADJUSTMENTS TO ACCOMPLISH THE PURPOSES OUTLINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AND SEE THAT ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO THE CONTRACTOR TO ACCOMPLISH THE INTENT OF THE PLANS. ASPHALTIC CONCRETE SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, FOR MATERIALS AND METHOD OF CONSTRUCTION. ALL ROADWAY BASES SHALL BE PRIME AND, IF REQUIRED, A TACK COAT SHALL BE APPLIED. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. TEST REPORTS FOR SUBGRADE, BASE, ASPHALT AND BASE COURSE AND CONCRETE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL. SEE SPECIFICATIONS FOR SPECIFIC TESTING REQUIREMENTS.

P2. GRADING AND BACKFILL: THE GRADING SHOWN ON THESE PLANS IS INTENDED TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR IS EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR TO GRADE PROPERTY SO THAT GRADING MEETS ADJACENT PROPERTY AND RIGHT-OF-WAY ELEVATIONS. CONTRACTOR SHALL NOTIFY THE OWNER AND SEE PRIOR TO DEMOLITION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE WHICH IS FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCE. IT SHALL BE FREELY AVAILABLE GRANULAR WITH A MAXIMUM PARTICLE SIZE OF TWO INCHES AND A PLASTICITY INDEX OF 12 OR LESS. ALL BACKFILL WITHIN THE ROADWAY, OVER ANY PIPE THAT IS TO BE INSTALLED UNDER THE ROADWAY OR WITHIN EMBANKMENTS, ETC. IS TO BE COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO AND PER FDOT SPECIFICATIONS, SECTION 125.8.3, LATEST EDITION.

P3. DRAINAGE: ALL DRAINAGE STRUCTURES MUST BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION ROAD DESIGN STANDARDS. MITERED END SECTION AS PER D.O.T. INDEX NO. 272 AND NO. 273. ALL PIPE LENGTHS ARE PLUS OR MINUS MEASUREMENTS ARE TO THE CENTER OF STRUCTURES. OWNER SHALL MAINTAIN RETENTION AREAS.

STRUCTURES TABLE			
D#	DESCRIPTION OF STRUCTURE	TOP ELEVATION	INVERT ELEVATION
1	MES - FDOT IND. #273 SHT. 1 OF 2	N/A	4.00
2	STRUCTURE BOTTOM TYPE J, 9" DIA., FDOT IND. 200	10.00	4.64
3	FDOT NO. 232	11.56	8.38
4	INLET TYPE "C" FDOT NO. 232	12.50	8.69
5	INLET TYPE "C" FDOT NO. 232	11.10	8.85
6	NOT USED	N/A	N/A
7	INLET TYPE "C" FDOT NO. 232	11.35	8.95
8	DOUBLE, 12" SLOPE MES PER FDOT INDEX 272 SHT. 1 OF 7	N/A	2.70
9	STRAIGHT CONCRETE ENDWALL FOR DOUBLE 80" PIPE PER FDOT INDEX 251	9.20	2.70
10	NOT USED	N/A	N/A
11	NOT USED	N/A	N/A
12	NOT USED	N/A	N/A
13	NOT USED	N/A	N/A
14	NOT USED	N/A	N/A
15	NOT USED	N/A	N/A
16	MES - FDOT IND. #273 SHT. 1 OF 2	N/A	6.30
17	INLET TYPE "C" FDOT NO. 232	9.20	7.00
18	MES - FDOT IND. #273 SHT. 1 OF 2	N/A	5.00
19	RAIN LEADER TIE IN FROM ARCHITECTURAL	N/A	7.00
20	MES - FDOT IND. #273 SHT. 1 OF 2	N/A	5.50
21	MES - FDOT IND. #273 SHT. 1 OF 2	N/A	5.75

**VERTICAL DATUM CONVERSION**

THE RESULTS IN THE LOWER COASTAL WATERSHED STUDY ARE IN NAVD. THESE CONSTRUCTION PLANS ARE IN NGVD.

THE CONVERSION AT THIS SITE IS NGVD = NAVD + 0.846.

**PASCO COUNTY DRAINAGE NOTES**

IT IS THE OWNER'S RESPONSIBILITY TO INSPECT AND MAINTAIN THE WATER COLLECTION AND RETENTION SYSTEM ON A REGULAR BASIS.

DURING CONSTRUCTION IF SOMETHING IS UNCOVERED, PARTICULARLY OF AN ARCHEOLOGICAL NATURE, ALL WORK SHALL STOP AND THE STATE ARCHEOLOGICAL OFFICE AND THE COUNTY SHALL BE NOTIFIED.

ALL SLOTTED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.

ALL PIPING WITHIN THE FDOT EASEMENT SHALL BE INSPECTED BY PASCO COUNTY STORMWATER MANAGEMENT PRIOR TO BURIAL. ALL RECORD TESTING LOCATIONS SHALL BE SELECTED BY PASCO COUNTY STORMWATER MANAGEMENT INSPECTORS.

CALCULATIONS FOR STORM SEWER DESIGN																		
LineID	Grnd/ Rim Elev Up (ft)	HGLUp (ft)	InvertUp (ft)	Grnd/ Rim Elev Dn (ft)	HGLDn (ft)	InvertDn (ft)	Drainage Area (ac)	Runoff Coeff (C)	Incremental CxA	Total C x A	Tc (min)	i Syst (in/hr)	Flow Rate (cfs)	Capacity Full (cfs)	Velocity Ave (ft/s)	Line Size (in)	Line Length (ft)	Line Slope (ft/ft)
2-1	10	8.61	4.64	9.2	8.49	4	0	0	0	0.74	18.6	5.76	4.26	9.84	2.41	18	72.86	0.0088
3-2	11.56	9.18	8.38	10	8.68	4.64	0.42	0.88	0.37	0.74	17.9	5.88	4.34	19.1	3.51	18	113.11	0.0331
4-3	12.5	9.5	8.69	11.56	9.48	8.38	0	0	0	0.37	17.1	6.01	2.25	7.41	1.97	18	62.26	0.005
5-4	11.1	9.66	8.85	12.5	9.62	8.69	0.25	0.76	0.19	0.19	15	6.43	1.21	2.5	1.34	15	104.57	0.0015
7-4	11.35	9.68	8.95	12.5	9.62	8.69	0.32	0.58	0.19	0.19	15	6.43	1.19	2.96	1.41	15	123.96	0.0021
9-8	9.2		2.7	8.2		2.7			SEE STORMWATER MANAGEMENT REPORT							2-60	310	0
17-16	9.2		7	7.8		6.3	2.4		SEE STORMWATER MANAGEMENT REPORT							18	20	0.0035
19-18	8.5		7	6.5		5	0.93		DOWNSPOUT AND RAIN LEADER							18	25	0.08
									SEE ICRP MANTON LANE INTERCEPTOR PIPE SIZING IN STORMWATER MANAGEMENT REPORT									
21-20	9.25		5.75	9		5.5	6.19									2-36	146	0.0017
CALCULATIONS BASED ON A 10-YEAR STORM STARTING TAILWATER ELEVATION FOR STORM TABULATION IS BASED ON 10Y/24H PEAK STAGE																		

CALCULATIONS BASED ON A 10-YEAR STORM STARTING TAILWATER ELEVATION FOR STORM TABULATION IS BASED ON 10/24H PEAK STAGE

**PASCO COUNTY NOTES CONT.**

10. IF DURING CONSTRUCTION ACTIVITIES, ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, PASCO COUNTY AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL PERTINENT PERMITS HAVE BEEN OBTAINED, AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL GUIDELINES CAN BE DEMONSTRATED.

11. NO CONSTRUCTION ACTIVITIES INCLUDING: CLEARING, GRADING, GRUBBING SHALL OCCUR WITHIN THE WETLAND UPLAND BUFFER AS DEPICTED ON THE APPROVED PROJECT CONSTRUCTION PLANS.

12. THE UPLAND BUFFER LINE SHALL BE CLEARLY FIELD DEMARCATED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

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**LEGEND**

SLOPE AND DIRECTION OF FLOW  
PROPOSED ELEVATION  
EXISTING ELEVATION  
PROJECT BOUNDARY  
STORM SEWER (RCP)  
FDOT TYPE C OR TYPE D INLET  
INLET WITH ALT. A STRUCTURE BOTTOM

**PROPOSED FILL**

NET FILL WILL BE APPROXIMATELY 21,000 C.Y. OF CLEAN SAND MATERIAL. (NOT FOR BID PURPOSES.)

**Paving, Grading & Drainage Plan**

Scale: 1"=30'

100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS			
REV	DATE	DESCRIPTION	
1	12/14/18	GENERAL REVISIONS	
2	01/31/19	SWFMD COMMENTS	
3	02/27/19	PASCO COUNTY COMMENTS	

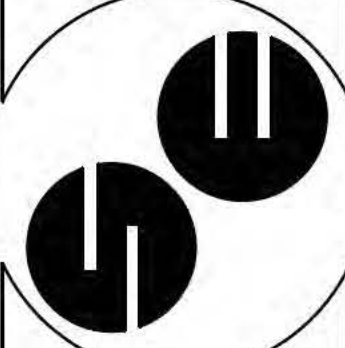
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

**HPI Horne Storage, L.L.C.**  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

**SPRING ENGINEERING, INC.**  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



PAVING, GRADING & DRAINAGE PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.  
2018-10  
SHEET NO.  
**C3.0**

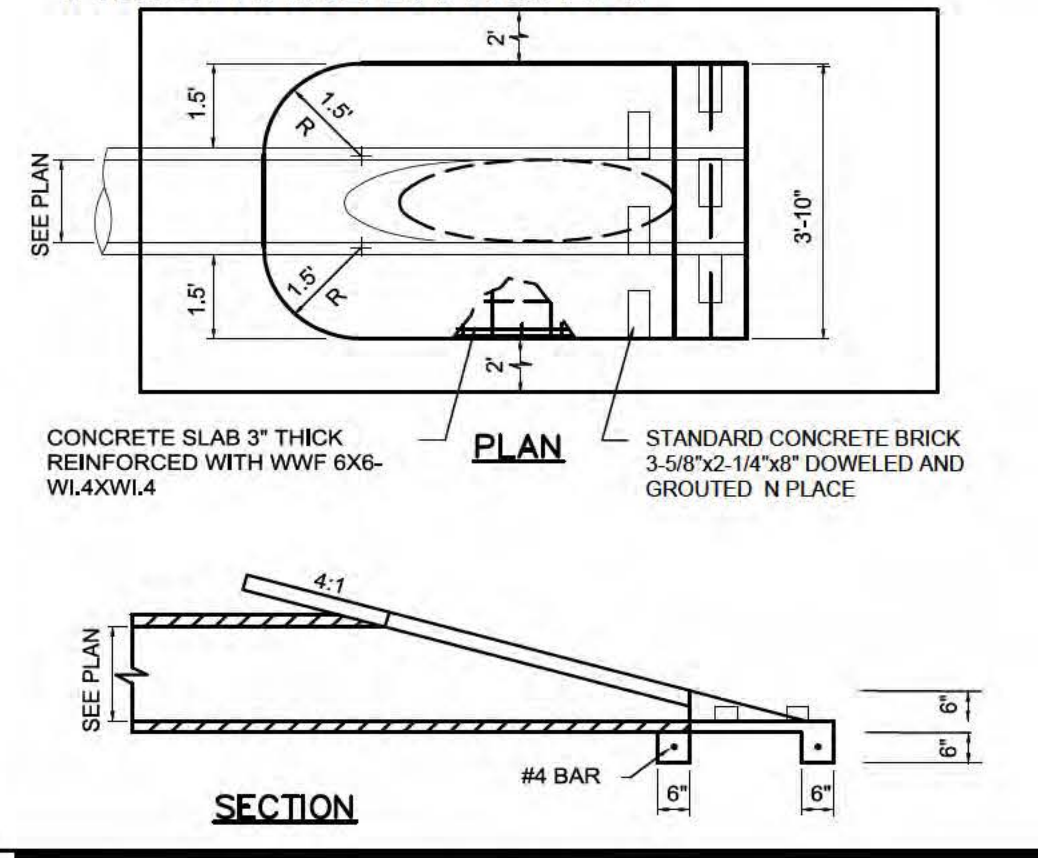


SECTIONS 31, TOWNSHIP 26 SOUTH,  
RANGE 16 EAST  
PASCO COUNTY, FLORIDA

PASCO CO. NOTES

1. EXTEND VALVE BOXES TO MATCH PROPOSED GRADES.
2. ALL PIPING SHALL BE INSPECTED BY PASCO COUNTY STORMWATER MANAGEMENT PRIOR TO BURIAL OR IT WILL NOT BE ACCEPTED FOR MAINTENANCE.
3. ALL RECD TEST NG LOCATIONS SHALL BE SELECTED BY PASCO COUNTY STORMWATER MANAGEMENT INSPECTORS.
4. ALL PIPES TO BE GASKETED AND WRAPPED AT EVERY JOINT.
5. DURING CONSTRUCTION IF THE EXISTING WATER MAIN IS INADVERTENTLY DAMAGED THE CONTRACTOR SHALL REPLACE THE WATER MAIN PER PASCO COUNTY SPECIFICATIONS.

MITERED END SECTION  
F.D.O.T. INDEX No. 273



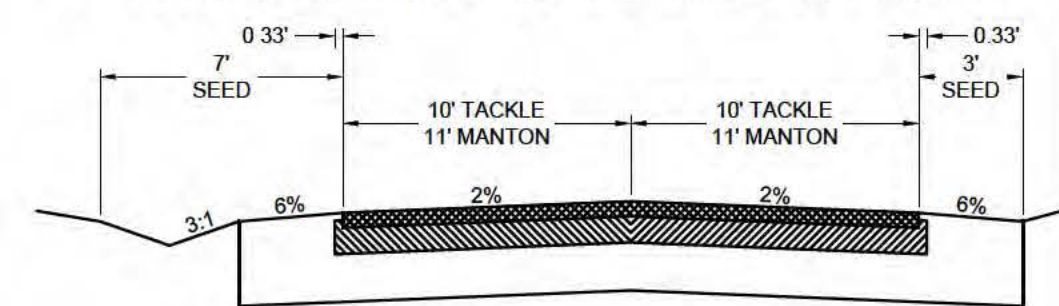
LEGEND

- PROPOSED ELEVATION X 76.50
- EXISTING ELEVATION
- S L T FENCE
- PROPOSED PERMANENT FENCE
- PROPOSED SWALE
- PROPOSED GRAD NG

KEYNOTES

1. MODIFIED MES FOR DUAL 42" RCP PER FOOT INDEX 273, E. 2.50 WITH VELOCITY DISSIPATOR (SEE DETAIL THIS SHEET).
2. 11" DIA. MANHOLE STRUCTURE BOTTOM TYPE J FOOT INDEX 200, IE. 2.55 WITH SINGLE MANHOLE FRAME AND LID TOP ELEVATION 7.84.
3. MODIFIED MES FOR DUAL 42" RCP PER FOOT INDEX 273, E. 2.85.
4. TWO 12" WIDE, 6" HIGH V NYL COATED BLACK CHA N LINK, HORIZONTALLY SL D NG SECURITY GATE. 30' TOTAL.
5. 6" HIGH VINYL COATED BLACK CHAIN LINK FENCE 100' ON NORTH AND 50' ON SOUTH OF TACKLE LANE RIGHT OF WAY.
6. STANDARD DUTY PAVING PER ON SITE STANDARD DUTY PAVING DETAIL ON SHEET C3.3.
7. PROPOSED ASPHALT PER TACKLE LANE ASPHALT DETAIL ON THIS SHEET.
8. CONCRETE PAVEMENT PER CONCRETE PAVING DETAIL ON SHEET C3.3.
9. HAY BALE BARRIER, REFER TO DETAIL ON SHEET C3.2.
10. 50 L.F. OF DOUBLE ROW TURBIDITY BARRIER PER F.D.O.T. INDEX 103.
11. 12" L ME STABILIZED COMPACTED SUBGRADE WITH FILTER FABRIC AND 6" COMPACTED 57 ROCK ON TOP.
12. PROPOSED 25' DRAINAGE EASEMENT TO BE SKETCHED AND DESCRIBED BY A LICENSED SURVEYOR AND DEDICATED TO PASCO COUNTY.
13. NOT USED.
14. 110± L.F. 6" HIGH VINYL COATED BLACK CHAIN LINK FENCE.
15. 56± L.F. 6" HIGH VINYL COATED BLACK CHAIN LINK FENCE.
16. TWO 12" WIDE x 6" HIGH V NYL COATED BLACK CHA N LINK HORIZONTALLY SLIDING SECURITY GATE.
17. BUSH HOG ALL VEGETATION UP TO 6" DIA.
18. EXISTING WOOD RETAINING WALL.

TACKLE & MANTON LANE ASPHALT



LAYER/MATERIAL	COEFFICIENT	THICKNESS	SN
TYPE SP STRUCTURAL COURSE (3") (TRAFFIC LEVEL C)	0.44	3"	1.32
OPTIONAL BASE GROUP 10 (TYPE B-12.5, 60", NOT SUSCEPTIBLE TO WATER DAMAGE)	0.30	6.5"	1.95
12" L ME STABILIZED SUBGRADE	0.08	12"	0.96
STRUCTURAL NUMBER CALCULATION:		TOTAL	4.23

P, G & D GENERAL NOTES

- P1. PAVING: ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTH TRANSITION WITH NO BREAKS, NO GRADE AND NO STEEP OR REVERSE CROSS SLOPES AT APPROACHES TO AND INTERSECTIONS WITH EXISTING GRADES. IT MAY BE NECESSARY AND ADVISABLE TO MAKE MINOR LOCAL FIELD ADJUSTMENTS TO ACCOMPLISH THE PURPOSES OUTLINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AND SET SHALL BE CONSULTED SO THAT WE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS. ASPHALTIC CONCRETE SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION, FOR MATERIALS AND METHOD OF CONSTRUCTION. ALL ROADWAY BASES SHALL BE PER MED AND, IF REQUIRED, A TACK COAT SHALL BE APPLIED. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. TEST REPORTS FOR SUBGRADE, BASE, ASPHALT AND BASE CORE AND CONCRETE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL. SEE SPECIFICATIONS FOR SPECIFIC TEST REQUIREMENTS.
- P2. GRADING AND BACKFILL: THE GRADING SHOWN ON THESE PLANS IS INTENDED TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR IS EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR TO GRADE PROPERTY SO THAT GRADING MEETS ADJACENT PROPERTY AND RIGHT-OF-WAY ELEVATIONS. CONTRACTOR SHALL NOTIFY THE OWNER AND SET PRIOR TO DEMOLITION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE WHICH IS FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCE. IT SHALL BE PREDOMINATELY GRANULAR WITH A MAXIMUM PARTICLE SIZE OF TWO INCHES AND A PLASTICITY INDEX OF 12 OR LESS. ALL BACKFILL WITHIN THE ROADWAY, OVER ANY PIPE THAT IS TO BE INSTALLED UNDER THE ROADWAY OR WITHIN EMBANKMENTS, ETC. IS TO BE COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO AND PER F.D.O.T. SPECIFICATIONS, SECTION 125.8.3, LATEST EDITION.
- P3. DRAINAGE: ALL DRAINAGE STRUCTURES MUST BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION ROAD DESIGN STANDARDS. MITERED END SECTION AS PER D.O.T. INDEX NO. 272 AND NO. 273. ALL PIPE LENGTHS ARE PLUS OR MINUS AND MEASUREMENTS ARE TO THE CENTER OF STRUCTURES. OWNER SHALL MAINTAIN RETENTION AREAS.
- P4. MAINTENANCE OF TRAFFIC: THE CONTRACTOR SHALL MAINTAIN TRAFFIC FOR ELITE COURT, TACKLE LANE AND CARILLON STREET DURING CONSTRUCTION.

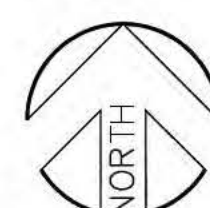
Enlarged East Pipe Area

Scale: 1"=10'

CALCULATIONS FOR STORM SEWER DESIGN

FROM PIPE INLET		TO PIPE INLET		A		CA		TOTAL		Tc		I		Qd		Qfull		VELOCITY		STORMWATER PIPE		± OF SLOPE	
LOCATION	FLOWLINE ELEVATION	LOCATION	FLOWLINE ELEVATION	ACRES	C	ACRES	CA	CA	CA	MIN	MIN	MIN	MIN	Qd	Qd	Qfull	Qfull	FT/SEC	FT/SEC	LOCATION	PIPE SIZE	LENGTH	± OF SLOPE
2	2.55	1	2.50													25.5	2.7	2.7	2.7	1-2	24"	72'	0.06%
3	2.85	2	2.55													25.5	2.7	2.7	2.7	2-3	24"	472'	0.06%

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Tackle Lane Paving, Grading & Drainage Plan

Scale: 1"=30'



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	VALUE ENGINEERING
2	01/31/19	SWFMD COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

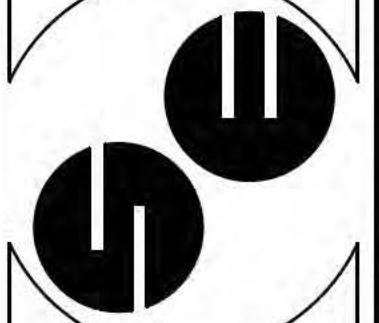
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



TACKLE LANE  
PAVING, GRADING  
& DRAINAGE PLAN

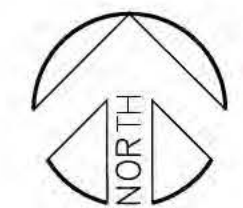
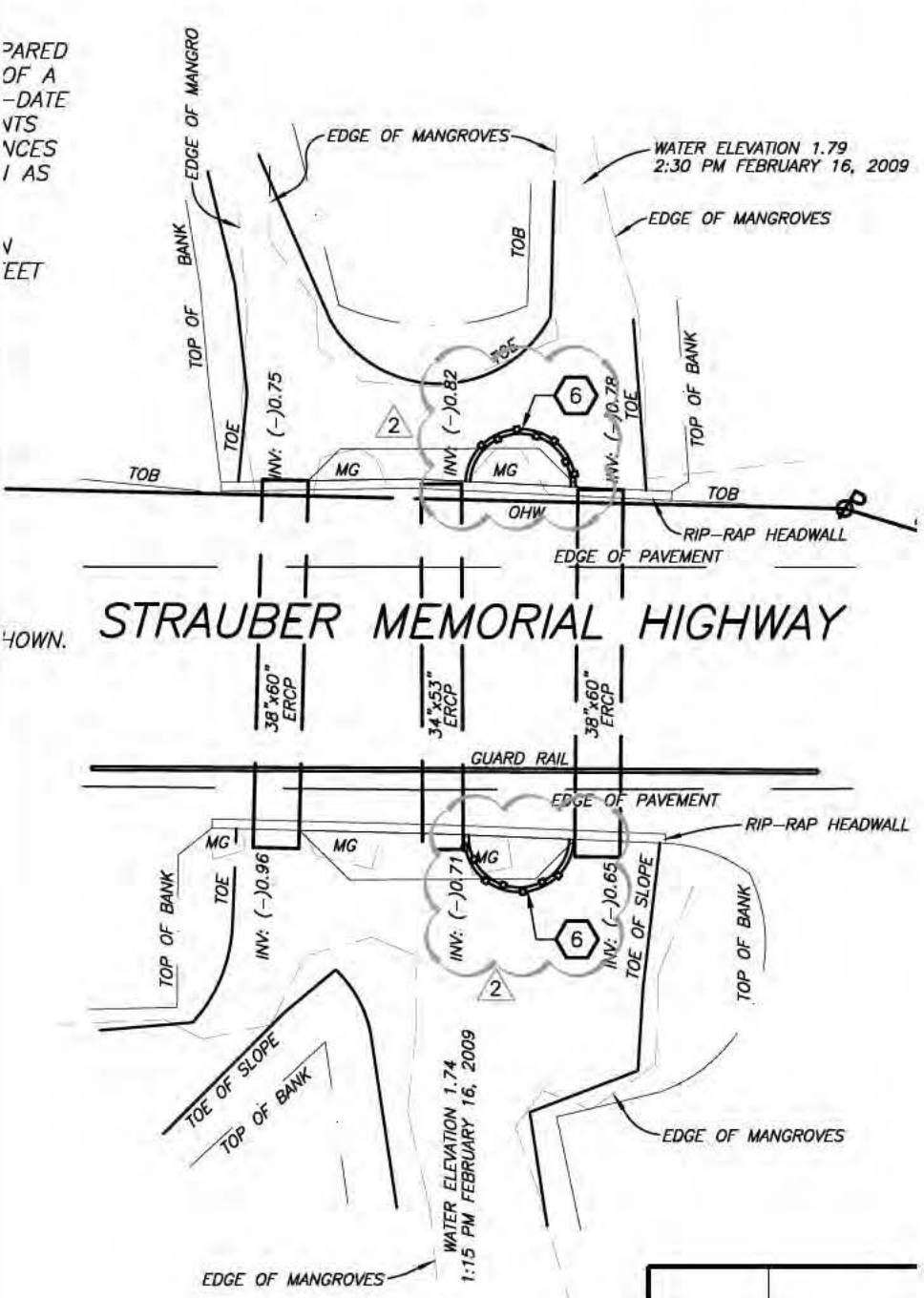
DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
C3.1

ROLAND P. DOVE, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 36933  
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROLAND P. DOVE PER 22 FEBRUARY 2019 USING A SHA-1  
AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1

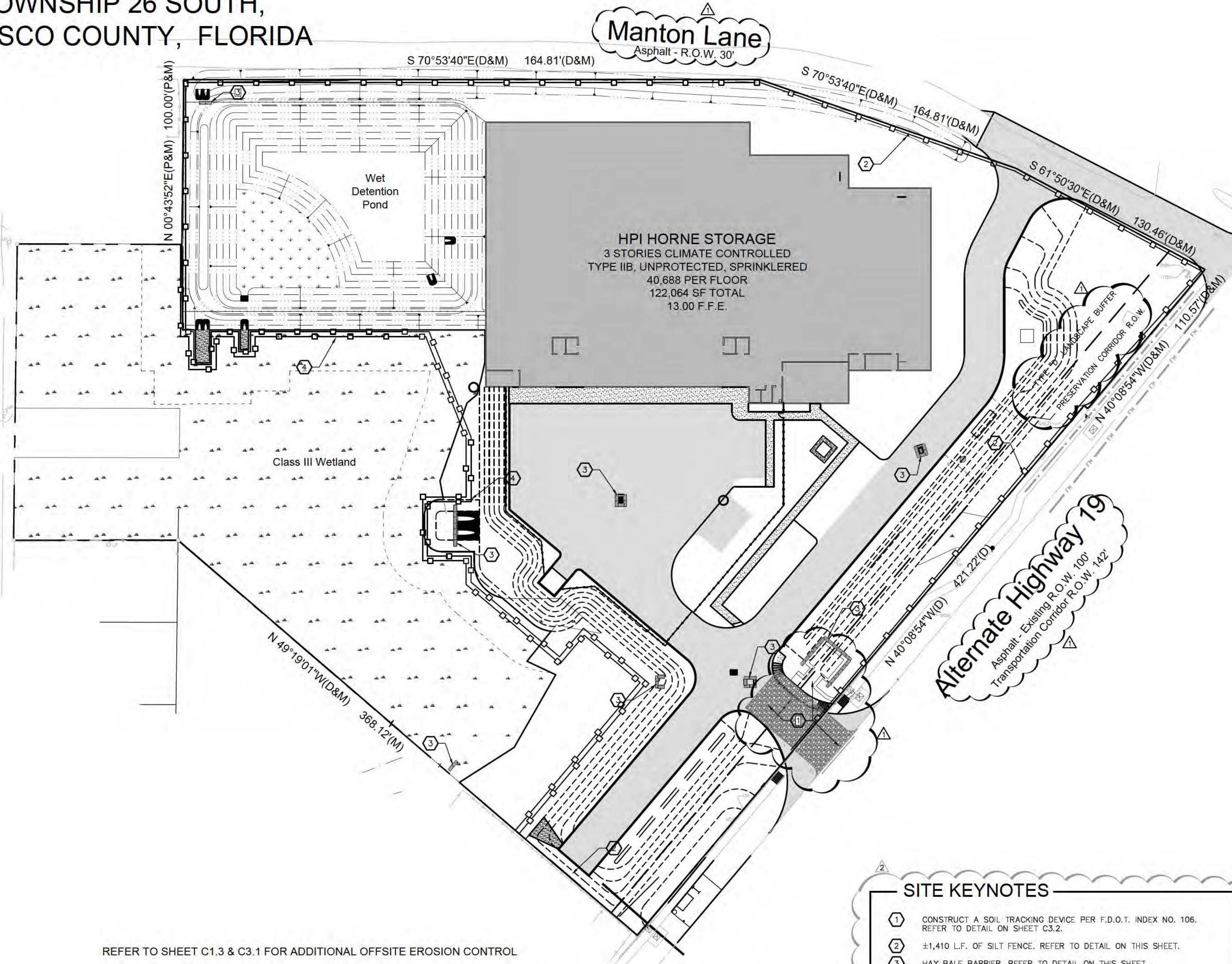


SECTIONS 26 & 31, TOWNSHIP 26 SOUTH,  
RANGE 15 & 16 EAST, PASCO COUNTY, FLORIDA



C.S.W.M.P.  
Strauber Memorial  
Parkway

Scale: 1"=20'

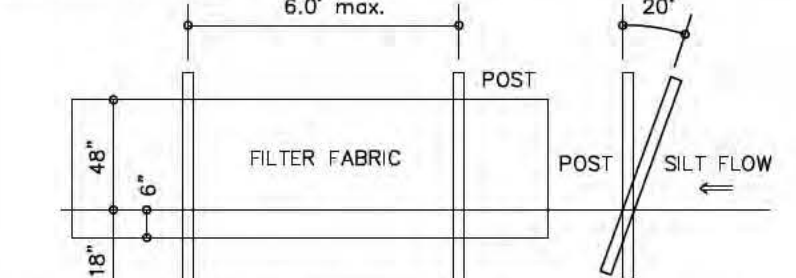


REFER TO SHEET C1.3 & C3.1 FOR ADDITIONAL OFFSITE EROSION CONTROL

SITE KEYNOTES

1. CONSTRUCT A SOIL TRACKING DEVICE PER F.D.O.T. INDEX NO. 106. REFER TO DETAIL ON SHEET C3.2.
2. ±1,410 L.F. OF SILT FENCE. REFER TO DETAIL ON THIS SHEET.
3. HAY BALE BARRIER, REFER TO DETAIL ON THIS SHEET.
4. ±610 L.F. OF DOUBLE ROW SILT FENCE. REFER TO DETAIL ON THIS SHEET.
5. NOT USED.
6. ±40 L.F. OF DOUBLE ROW TURBIDITY BARRIER PER FDOT INDEX NO. 103.
7. NOT USED.
8. NOT USED.

SILT FENCE DETAIL



1. FILTER FABRIC TO CONFORM WITH F.D.O.T. SPECIFICATIONS (SEC. 985)
2. POSTS TO BE 2"x4" WOOD POST OR 1.3 LB/FT STEEL POST.
3. POST POSITION TO BE CANTED (20°) OR VERTICAL (90°).
4. DO NOT DEPLOY IN A MANNER THAT SILT FENCE WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES.
5. SILT FENCE WILL NOT BE TRENCHED ANY WHERE ADJACENT TO TREES
6. THE SILT FENCE MUST BE SECURED THROUGH THE PLACEMENT OF FILL OVER THE LOWER LIP OF THE BARRICADE

EROSION CONTROL

TREE BARRICADES AND EROSION CONTROL: ALL EROSION CONTROL MEASURES (SILT BARRIERS) AND TREE BARRICADES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ENCROACHMENT OR FAILURE TO MAINTAIN THESE BARRICADES COULD RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED AT THE END OF EACH WORKING DAY. HAY BALES SHALL BE INSTALLED ONCE PERMETER GRADING IS COMPLETED. STORMWATER FACILITIES SHALL HAVE HAY BALES PLACED AROUND THEIR ENTRANCES TO PREVENT SEDIMENT FROM BEING TRANSPORTED INTO THE STORMWATER SYSTEM. HAY BALES SHALL BE PLACED ALONG THE PERIMETER OF ALL DOWNSLOPE BOUNDARIES TO PROVIDE FILTRATION OF RUNOFF DURING CONSTRUCTION. THE HAY BALES SHALL REMAIN IN PLACE UNTIL THE ENGINEER HAS APPROVED THE VEGETATIVE COVER ALONG EMBANKMENTS PROVIDING RUNOFF TO THE PERIMETER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOIL EROSION CONTROL DEVICES, IF AT ANY TIME DRAINAGE STRUCTURES OR EROSION CONTROL DEVICES BECOME DAMAGED OR INOPERABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THEM.

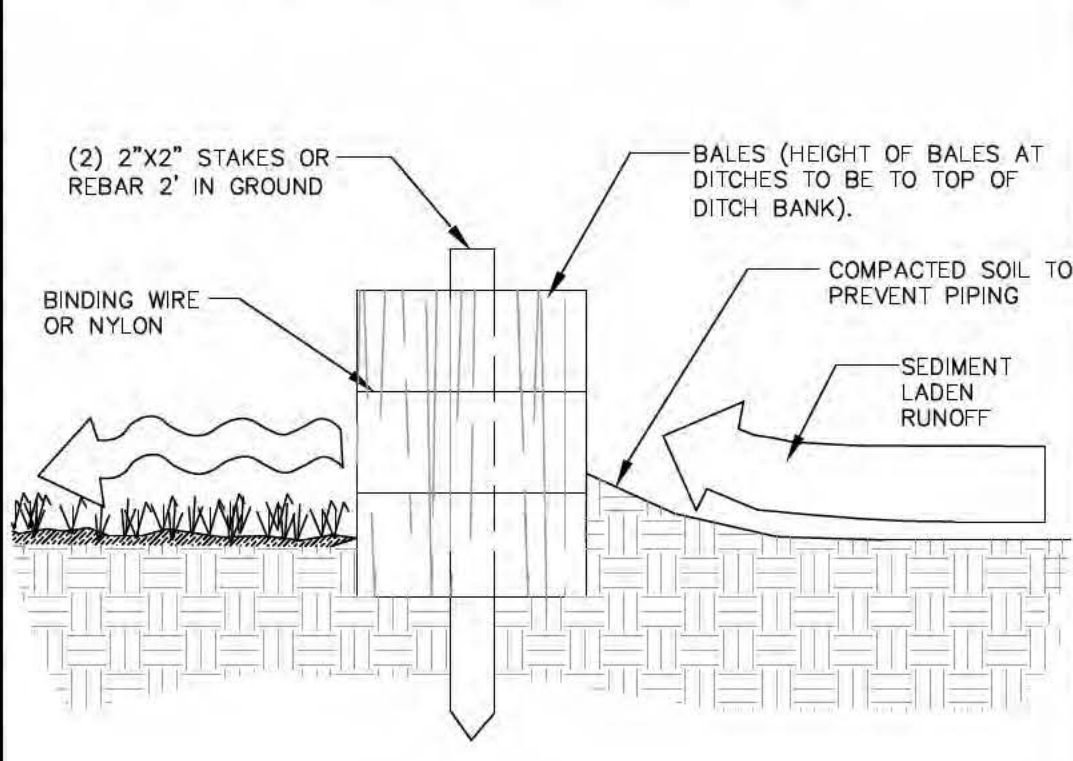
THE CONTRACTOR IS EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY THAT ADJACENT PROPERTIES ARE NOT ADVERSELY IMPACTED BY EROSION OR SEDIMENT LEAVING THE SITE. CLEARED AREAS SHALL BE STABILIZED EARLY IN THE CONSTRUCTION PROCESS AND IF NATURAL PRECIPITATION DOES NOT PROVIDE PERIODIC WETTING OF THE SITE, THEN THE CONTRACTOR SHALL PROVIDE A METHOD OF SPRAYING THE SITE TO PREVENT WIND EROSION. CONTRACTOR SHALL CLEAR ONLY THAT AREA SHOWN TO BE CLEARED ON THE PLAN. CARE SHALL BE TAKEN TO DISTURB THE EXISTING VEGETATION IN ONLY THOSE AREAS UNDER CONSTRUCTION AT THAT TIME.

ALL CLEAR SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3 1/2) FEET IN HEIGHT. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN ON THE SITE, UNLESS OTHERWISE APPROVED BY THE LOCAL GOVERNMENT. ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS.

EROSION CONTROL NOTES

1. THE PERIMETER CONTROLS (SILT FENCE AND HAY BALES) SHALL BE INSTALLED AROUND THE ENTIRE AREA TO BE DISTURBED, AS SHOWN.
2. HAY BALES TO BE PROVIDED AROUND THE NEW CATCH BASINS IMMEDIATELY AFTER THE BASINS ARE INSTALLED AND TEMPORARILY REMOVED FOR PAVEMENT INSTALLATION.
3. HAY BALE BARRIERS SHALL BE PROVIDED IN EXISTING UPLAND DITCHES DURING PIPE PLACEMENT AND DITCH FILLING OPERATIONS. SEE DETAIL THIS SHEET.
4. WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER OR SANITARY WASTE ARE TO BE PROPERLY CONTROLLED AND NOT DISCHARGED TO THE DRAINAGE DITCHES.
5. TRUCKING OF SEDIMENTS AND GENERATION OF DUST BY OFF-SITE VEHICLES SHALL BE MINIMIZED.
6. PROVIDE TEMPORARY DISTURBED AREA STABILIZATION BY SPREADING RYE GRASS SEED AT THE RATE OF 168 LBS PER ACRE.
7. THE APPLICATION, GENERATION AND MIGRATION OF TOXIC SUBSTANCES SHALL BE LIMITED AND PROPERLY STORED AND DISPOSED OF.
8. EROSION CONTROL DEVICES SHALL BE MAINTAINED IN PROPER WORKING ORDER THROUGHOUT THE CONSTRUCTION. MAINTENANCE SHALL BE PERFORMED AS NEEDED. DEVICES SHALL BE REPAIRED AND/OR REPLACED AS REQUIRED. MATERIAL SHALL BE REMOVED WHEN SEDIMENT BUILD-UP REACHES 50% OF THE HEIGHT OF THE DEVICE.
9. ALL EFFORTS MUST BE UNDERTAKEN TO PREVENT ANY EROSION OR TURBID WATER FROM BEING DISCHARGED INTO WETLANDS AND/OR WATERS OF THE COUNTY. TURBID DISCHARGES THAT EXCEED 50 JTU'S (JACKSON TURBIDITY UNITS) OR 29 NTU'S (NEPHELOMETRIC TURBIDITY UNITS) ABOVE BACKGROUND LEVELS SHALL NOT BE EXCEEDED. HAY BALES, SILT FENCES OR OTHER EPC APPROVED METHODS OF EROSION/TURBIDITY CONTROL ARE REQUIRED. CONTROLS SHOWN ARE MINIMUM REQUIREMENTS. INSTALLATION AND MAINTENANCE OF ADEQUATE CONTROLS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL ALL LOOSE SOILS HAVE STABILIZED. CONTROL DEVICES SHALL BE INSPECTED REGULARLY AND MODIFIED AS REQUIRED FOR PROPER OPERATION.

HAY BALE BARRIER DETAIL



CSWMP SIGNATURES

OWNER: 19 JUNCTION LAND & DEVELOPMENT L.L.C.  
34650 US 19, SUITE 108  
PALM HARBOR, FLORIDA 34684  
PHONE: (727) 424-1246  
HENRI BALESTRIERI

ENGINEER: SPRING ENGINEERING, INC.  
3014 U.S. HIGHWAY 19  
HOLIDAY, FLORIDA 34691  
PHONE: (727) 938-1516  
YANCEY B. ABUTON, P.E.  
PROJECT ENGINEER #63766

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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	07/31/19	SW/MD COMMENTS

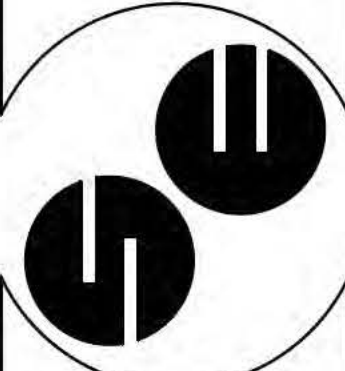
ROLAND P. DOVE, P.E.  
FL REG. NO. 38933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL 34691-1516  
FL COA NO. 00005158 & LICENSE NO. AIA-C001747

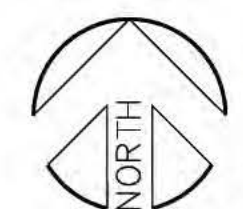


CONSTRUCTION  
SURFACE WATER  
MANAGEMENT PLAN

DESIGNED BY: NDIL  
DRAWN BY: NDIL  
CHECKED BY: RPD

JOB NO.:  
2018-10

SHEET NO.:  
C3.2



Construction Surface Water Management Plan

Scale: 1"=40'



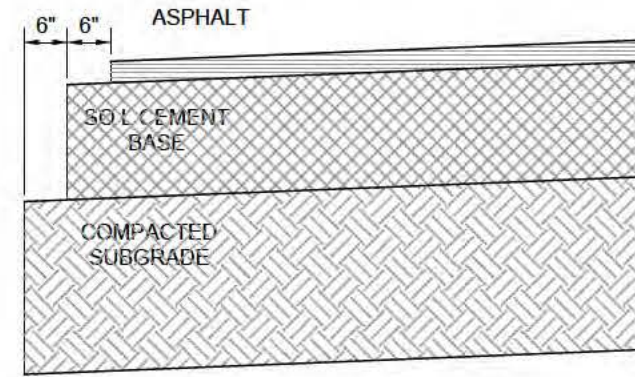


## HEAVY DUTY PAVING

2-1/2" HOT MIX SURFACE COURSE (ASPHALT MIX TYPE "S-1") COMPACTED TO MINIMUM 96% OF MARSHALL MAXIMUM LAB UNIT WEIGHT. PER FDOT SECTION 331.

8" CRUSHED CONCRETE, COMPACTED TO MINIMUM 95% MAXIMUM MODIFIED PROCTOR DRY DENSITY (AASHTO T-180 OR ASTM D-1557) & MINIMUM SEVEN DAY STRENGTH OF 300 PSI. PLACE IN EQUIVALENT THICKNESS LIFTS NOT TO EXCEED 6 INCHES LOOSE THICKNESS. PER FDOT SECTION 270.

12" COMPACTED LIME STABILIZED SUBGRADE COMPACTED TO MINIMUM 98% MAXIMUM MODIFIED PROCTOR DRY DENSITY (ASTM D-1557) AND STABILIZED TO A MINIMUM L MEROCK BEARING RATIO OF 40. PER FDOT SECTION 160.



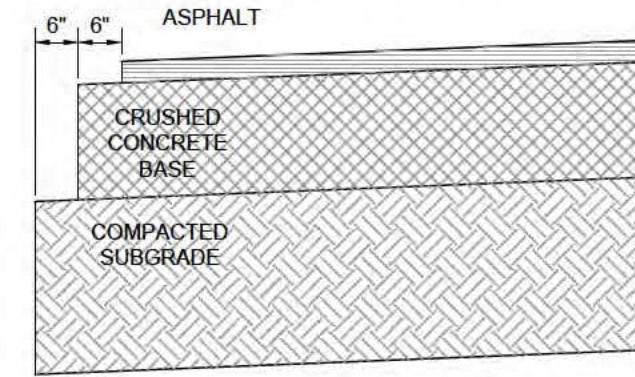
NOTE: THE ABOVE SPECS ARE MINIMUM. SUBGRADE, BASE AND TOPPING SHALL MEET OR EXCEED FDOT AND PASCO COUNTY STANDARD REQUIREMENTS.

## STANDARD DUTY PAVING

1-1/2" HOT MIX SURFACE COURSE (ASPHALT MIX TYPE "S-1") COMPACTED TO MINIMUM 96% OF MARSHALL MAXIMUM LAB UNIT WEIGHT. PER FDOT SECTION 331.

6" CRUSHED CONCRETE, COMPACTED TO MINIMUM 95% MAXIMUM MODIFIED PROCTOR DRY DENSITY (AASHTO T-180 OR ASTM D-1557) & MINIMUM SEVEN DAY STRENGTH OF 300 PSI. PLACE IN EQUIVALENT THICKNESS LIFTS NOT TO EXCEED 6 INCHES LOOSE THICKNESS. PER FDOT SECTION 270.

12" COMPACTED LIME STABILIZED SUBGRADE COMPACTED TO MINIMUM 98% MAXIMUM MODIFIED PROCTOR DRY DENSITY (ASTM D-1557) AND STABILIZED TO A MINIMUM L MEROCK BEARING RATIO OF 40. PER FDOT SECTION 160.

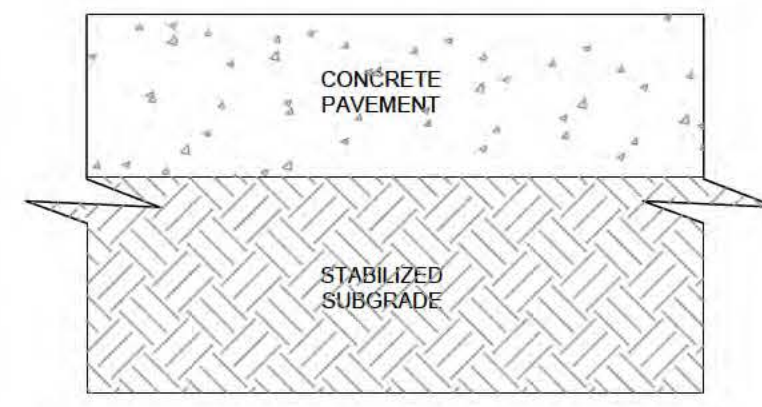


NOTE: THE ABOVE SPECS ARE MINIMUM. SUBGRADE, BASE AND TOPPING SHALL MEET OR EXCEED FDOT AND PASCO COUNTY STANDARD REQUIREMENTS.

## CONCRETE PAVING

6" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH 6"x6" W/4W/4 WELDED WIRE MESH. PROVIDE CONSTRUCTION JOINTS 12' ON CENTER. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.

6" STABILIZED SUBGRADE COMPACTED TO MINIMUM 100% MAXIMUM MODIFIED PROCTOR DRY DENSITY (ASTM D-1557) & MINIMUM LBR 40 OR FBV-75



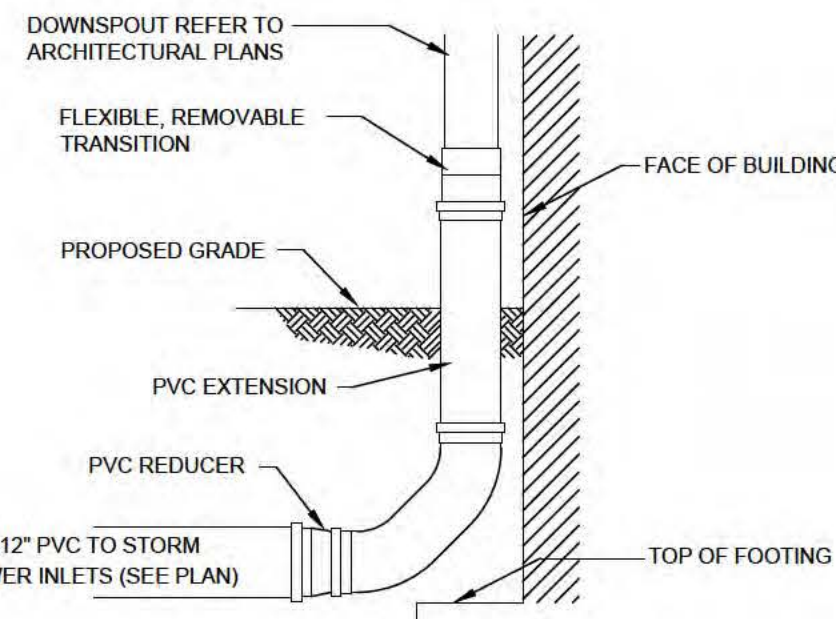
NOTE: THE ABOVE SPECS ARE MINIMUM. SUBGRADE, BASE AND TOPPING SHALL MEET OR EXCEED FDOT AND PASCO COUNTY STANDARD REQUIREMENTS.

## TESTING SCHEDULE GUIDE FOR FLORIDA

ITEM	TEST TYPE	TEST I.D.	REQUIREMENTS	FREQUENCY
EMBANKMENT	MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY	AASHTO T180 ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	N/A 95% OF MAXIMUM DENSITY	PER SOIL TYPE ONE PER 2,500 S.F. HORIZONTALLY * ALTERNATING LIFTS (12')
UTILITY TRENCH BACKFILL UNDER ROADWAYS AND STRUCTURES	MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY	AASHTO T180 ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	N/A 95% OF MAXIMUM DENSITY	PER SOIL TYPE ONE PER 2,500 S.F. HORIZONTALLY * EVERY 2' VERTICALLY D2922 - AT LEAST ONE FOR EACH PERFECTION
BACKFILL OF STRUCTURES	MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY	AASHTO T180 ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	N/A 95% OF MAXIMUM DENSITY	PER SOIL TYPE ONE PER 2,500 S.F. EVERY 2' VERTICALLY
SUBGRADE	BEARING VALUES	LBR - FLA. D.O.T.	LBR = 40 MIN.	ONE PER SOIL TYPE CHECK POINT LBR AT 500 L.F. HORIZONTALLY ONE PER SOIL TYPE
	MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY & THICKNESS	AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922	N/A 98% OF MAXIMUM DENSITY	ONE PER 2,500 S.F. HORIZONTALLY
BASE	BEARING VALUES	LBR - FLA. D.O.T.	LBR = 100 MIN.	ONE PER SOURCE OR AS MATERIAL CHANGES CHECK POINT LBR AT 500 L.F. HORIZONTALLY ONE PER SOURCE
	MAXIMUM DENSITY OPTIMUM MOISTURE THICKNESS FIELD DENSITY GRADATION ATTERBURG LIMITS	AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922 AASHTO T27, T98 AASHTO T160 ASTM C136, D423, D424	N/A 98% OF MAXIMUM DENSITY PER SPECIFICATIONS	ONE PER 2,500 S.F. HORIZONTALLY ONE PER SOURCE
SOIL CEMENT BASE MIX DESIGN	PORTLAND CEMENT ASSOC. SPECIFICATIONS		PER SPECIFICATIONS	ONE PER SOIL TYPE
	MAXIMUM DENSITY OPTIMUM MOISTURE COMPRESSIVE STRENGTH SPECIMENS TEST CORES	AASHTO T134 (STANDARD) PORTLAND CEMENT ASSOC. SPECIFICATIONS PORTLAND CEMENT ASSOC. SPECIFICATIONS AASHTO T191, T238 ASTM D1556, D2922	N/A 300 PSI AT 7-DAYS TYPE DAILY ** 450 PSI AT 21-DAYS SET OF COMPRESSIVE ** 95% OF MAXIMUM DENSITY	ONE PER SOIL TYPE DAILY ONE SET OF 3 PER SOIL TYPE ONE PER 2,500 S.F. HORIZONTALLY
ASPHALTIC CONCRETE	MATERIALS QUALITY BITUMEN CONTENT GRADATION FIELD DENSITY	AASHTO T104 ASTM D2172 ASTM D2950-81	PER SPECIFICATIONS 95% OF LAB DENSITY	ONE PER DAY ONE PER 2,500 S.F. HORIZONTALLY
	LOS ANGELES ABRASION THICKNESS	AASHTO T96-77 ASTM C131-81 N/A	PER SPECIFICATIONS PER SPECIFICATIONS	ONE PER SOURCE ONE PER 2,500 S.F.

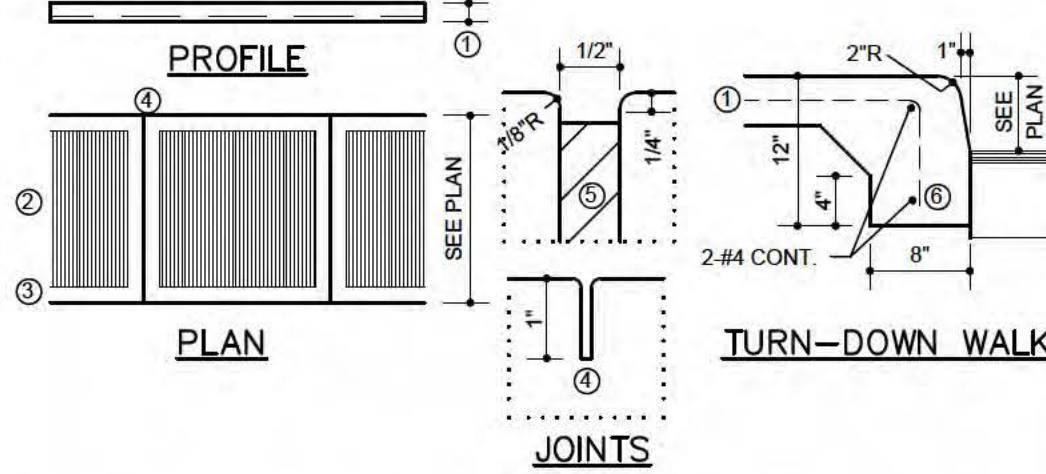
NOTES:  
\* THE CONTRACTOR SHALL NOT PAVE OVER SOIL CEMENT BASE UNTIL A 30-DAY CURING HAS ELAPSED.  
\*\* MAXIMUM STRENGTH LIMITS, AS ESTABLISHED BY SOILS TESTING COMPANY, SHALL NOT BE EXCEEDED.  
\*\*\* SHOULD ANY OF THE INFORMATION PROVIDED HEREIN CONFLICT WITH EITHER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER, AND/OR THE GEOTECHNICAL REPORT, THEN THE FOREMENTIONED RECOMMENDATIONS WILL SUPERSEDE THIS "TESTING SCHEDULE GUIDE".

## DOWNSPOUT CONNECTION DETAIL



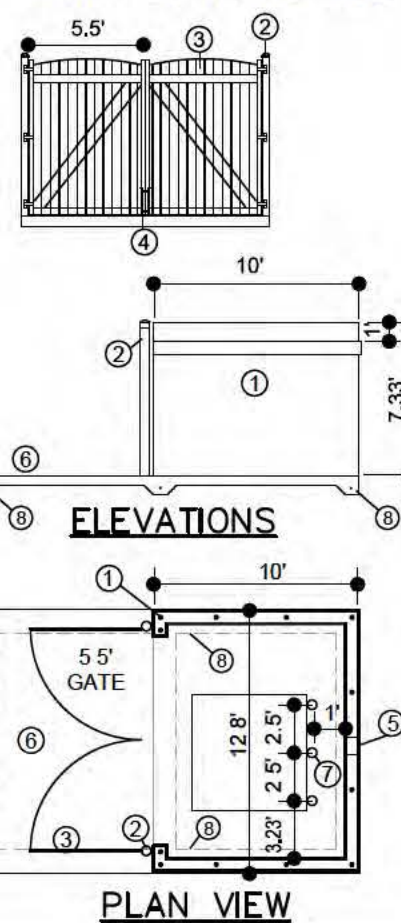
NOTE: ALL CONNECTIONS TO BE WATER TIGHT

## SIDEWALK DETAIL



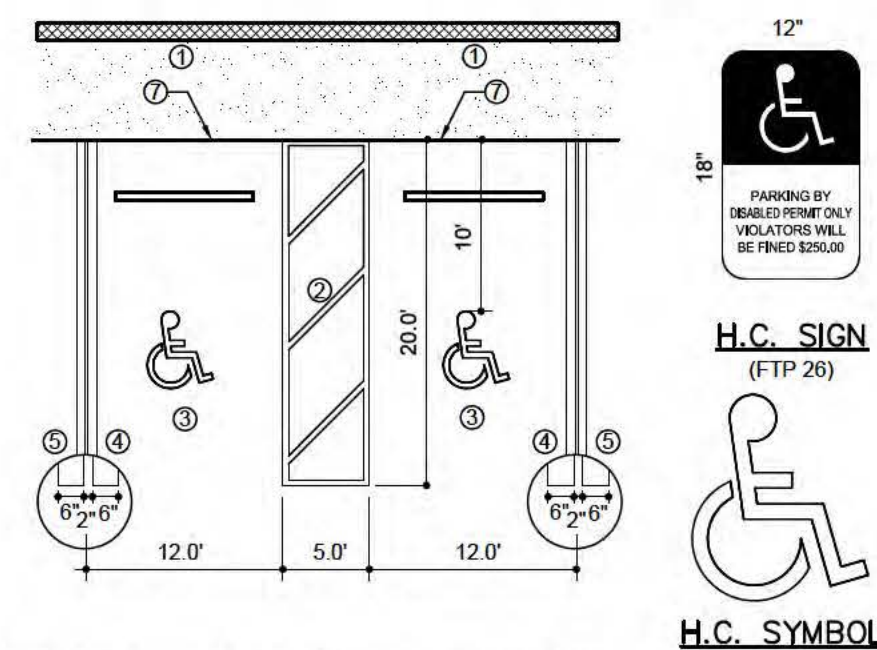
1. CONCRETE SIDEWALK: 4" THICK SLAB ON SITE AND 6" THICK SLAB OFF-SITE WITH 6x6 #10/10 W.W.M. PLACED 2" ABOVE THE BOTTOM OF THE SLAB.
2. ROUGH BROOM FINISH.
3. 5" W.D.C. SMOOTH TROWEL FINISH ALONG SIDEWALK EDGE AND JOINTS.
4. CONTRACTION JOINT: 1/8" WIDE x 1" DEEP, SPACED 5' O.C.
5. CONSTRUCTION JOINT: USE PRE-MOLDED FILLER AT BUILDING & UTILITIES.
6. TURN-DOWN WALK: TERMINATE SIDEWALK ALONG ASPHALT PAVING WITH A THICKENED FOOTING AS SHOWN.

## DUMPSTER DETAIL



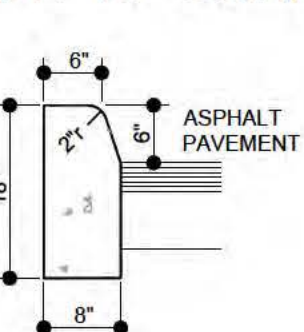
1. 8" CMU DUMPSTER ENCLOSURE, W/ #5 VERTICAL REINFORCING @ 4' O.C. AS SHOWN.
2. BOLLARD: 6" DIA. GALV. PIPE COL., 4" BELOW GRADE & EXTEND 8" ABOVE GRADE FILL WITH CONC. AND SET IN CONC. FOOTING. PAINT TO MATCH BLDG.
3. METAL GATES: 1x8 METAL PANELS SECURED TO 2" ANGLE FRAME AT TOP AND BOTTOM W/ 1/2" GALV. DECK SCREWS. PAINT TO MATCH BUILDING. 3/4" DIA. x 1.5" DEEP RECESSES FOR GATE CANE BOLTS AT OPEN AND CLOSED POSITION (FIELD VERIFY LOCATION).
4. RICHARD WILCOX HARDWARE: CANE BOLT NO. 524-P23, INDUSTRIAL STRAP HINGE NO. 434-P28 (3 PER GATE), PAINT TO MATCH BLDG.
5. 8"x8" DRAIN WEEP HOLES.
6. 6" THICK CONCRETE SLAB WITH 6x6 x 1x1/4 W.W.F. SLOPE TO DRAIN WEEP HOLES SLAB TO WITHSTAND 10,000 # SINGLE WHEEL LOADS.
7. BOLLARD: 6" DIA. GALV. PIPE COL., 3" BELOW GRADE & EXTEND 4" ABOVE GRADE FILL WITH CONC. AND SET IN CONC. FOOTING. PAINT GSHAW YELLOW.
8. 8"x12" THICKENED SLAB FOOTING WITH 1-#5 REINFORCING CONT.

## HANDICAPPED PARKING DETAIL



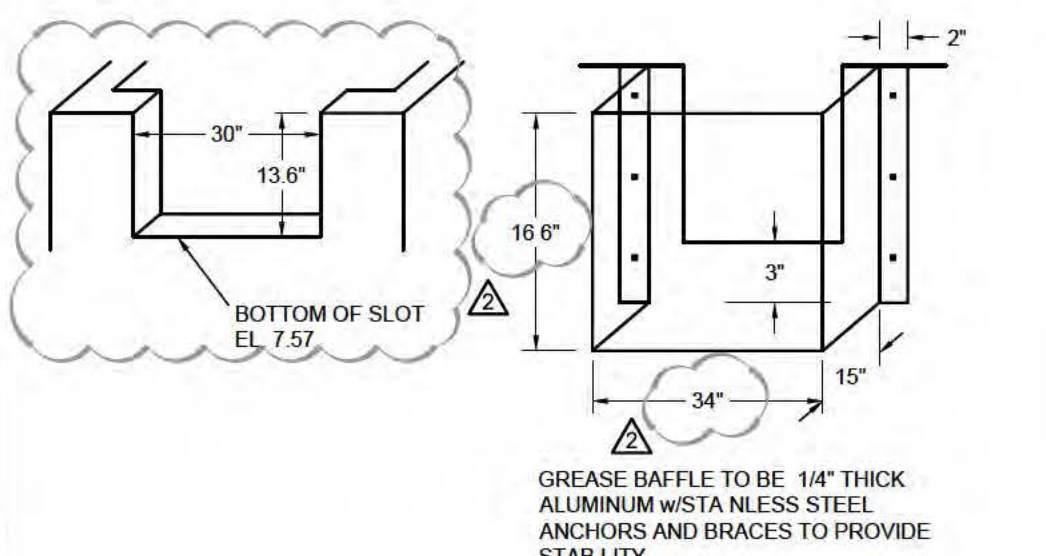
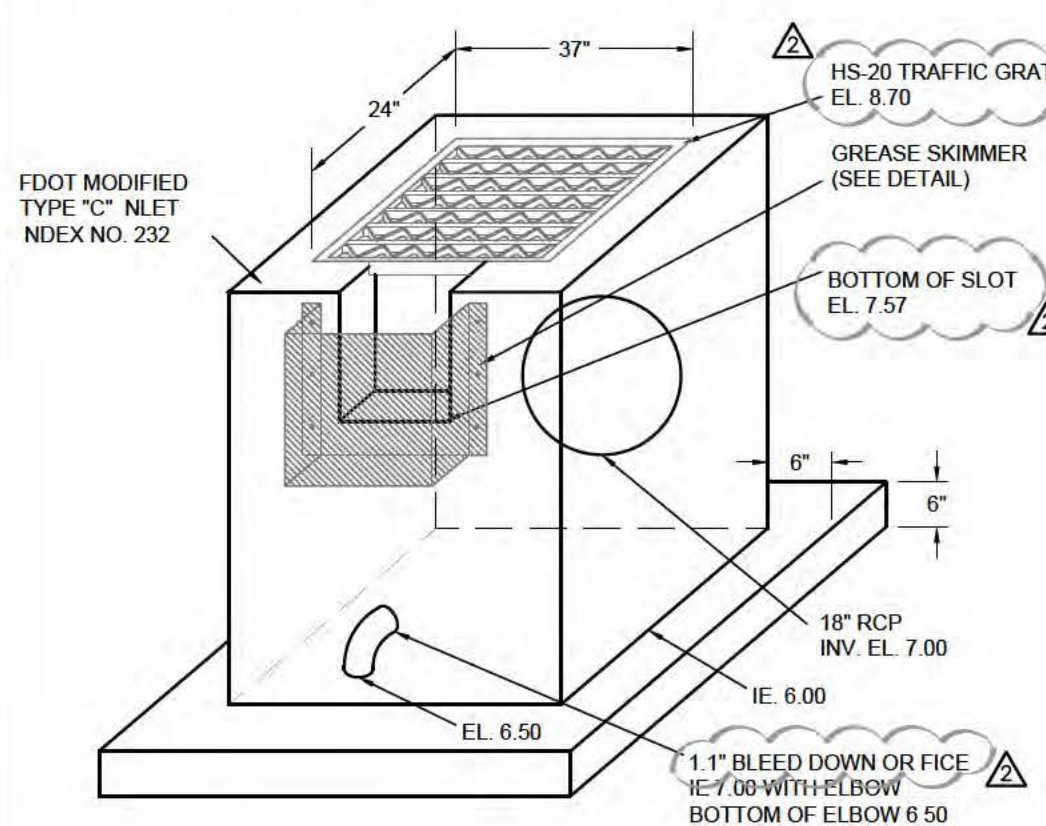
1. WALL MOUNTED H.C. SIGN, INSTALLED 7" ABOVE GRADE.
2. 6" WIDE PAINTED STRIPE (WHITE).
3. H.C. SYMBOL: 1 PER SPACE, PAINTED WHITE ON ASPHALT.
4. 6" WIDE PAINTED STRIPE (BLUE).
5. 6" WIDE PAINTED STRIPE (WHITE).
6. ALL BLUE TINTING TO MATCH FEDERAL STANDARD 595a, SHADE 15180.
7. MATCH ASPHALT PAVEMENT. REFER TO PAVING, GRADING, & DRAINAGE PLAN.
8. SIGN AND MARK IN ACCORDANCE WITH F.D.O.T. INDEX 17346.

## TYPE "D" CURB DETAIL



\* ALL CURBS: SAW CUT CONTROL JOINTS EVERY 10 FEET.

## CONTROL STRUCTURE DETAIL



## FLOODPLAIN ENCROACHMENT

Stage (NAVD)	Baseline Model- Unimpacted Area (acres)	HPI Home Storage - Area After Impact (acres)	Impact Area (acres)	Incremental Volume (cf)	Cumulative Volume (cf)
4.812857	0.083792	0.064792	0.019		
5.312857	0.692149	0.337149	0.355	4072.86	4072.86
5.812857	1.474403	0.593403	0.881	13460.04	17532.9
6.312857	2.34332	0.89332	1.45	25384.59	42917.49
6.812857	3.355716	0.945716	2.41	42035.4	84952.89
7.312857	4.513889	1.253889	3.26	61746.3	146699.19
7.44	4.764176098	1.414176098	3.35	18304.24371	165003.4337
7.812857	5.498163	2.148163	3.35	54409.53058	219412.9643
8.312857	6.066345	2.716345	3.35	72963	292375.9643
8.812857	6.541552	3.191552	3.35	72963	365338.9643

Stage (NGVD)	Cumulative Volume (cf)	Description
6.658857	17532.9	
7.158857	42917.49	
7.658857	84952.89	
8.158857	146699.19	
8.286	165003.4337	
8.658857	219412.9643	
9.158857	292375.9643	
9.658857	365338.9643	
8.286	165003	
8.29	165587	Baseline 100y/24h Peak Stage Node F21130
8.658857	219413	
Total Floodplain Encroachment	130735 cf	

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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SWFMM COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

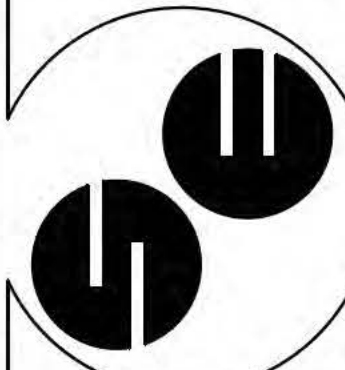
ROLAND P. DOVE, P.E.  
FL REG. NO. 38933  
DATE

HPI Home  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL 32727 938-1516  
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



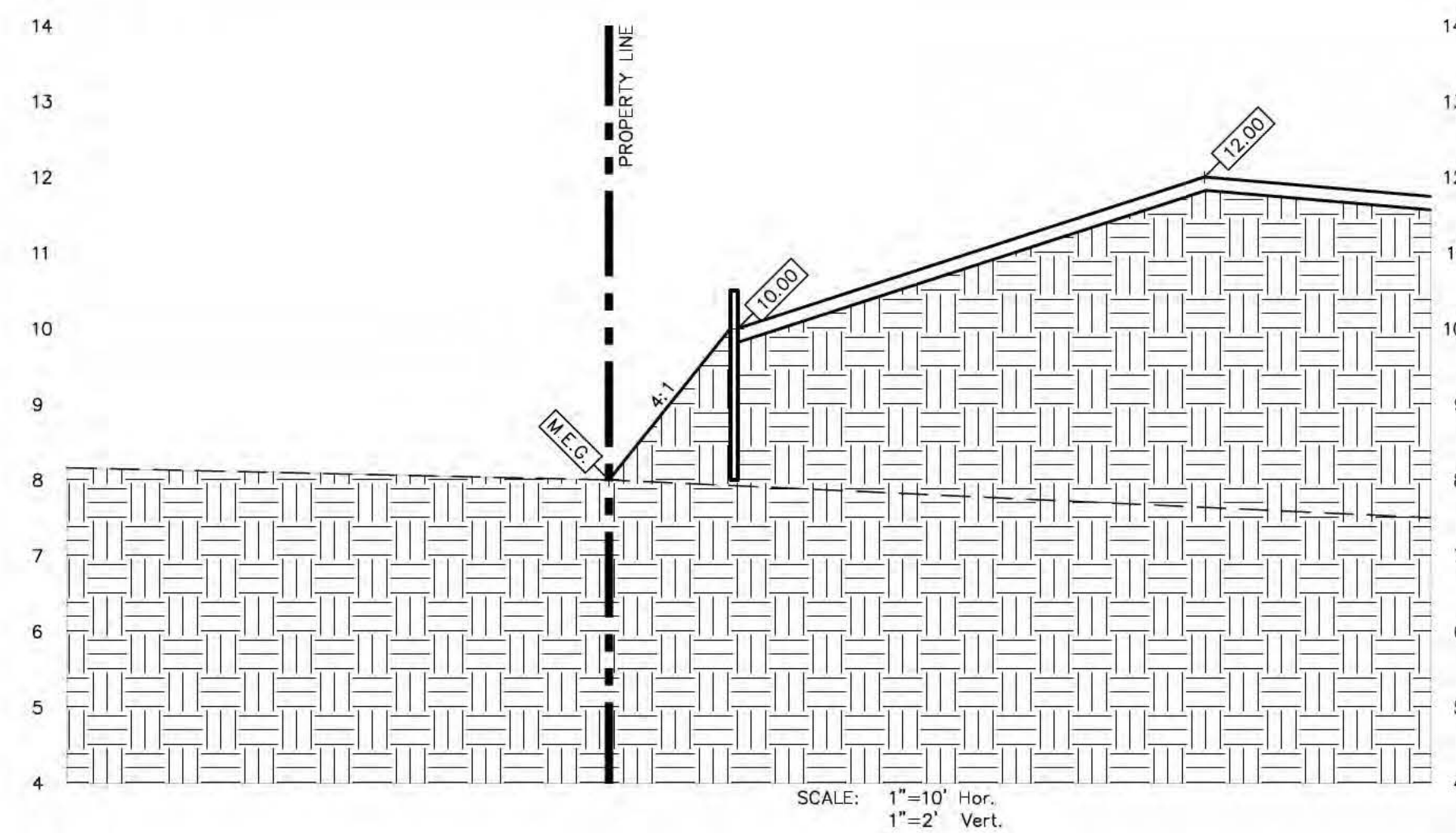
PAVING, GRADING  
& DRAINAGE  
DETAILS

DESIGNED BY: NDIL  
DRAWN BY: NDIL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
C3.3

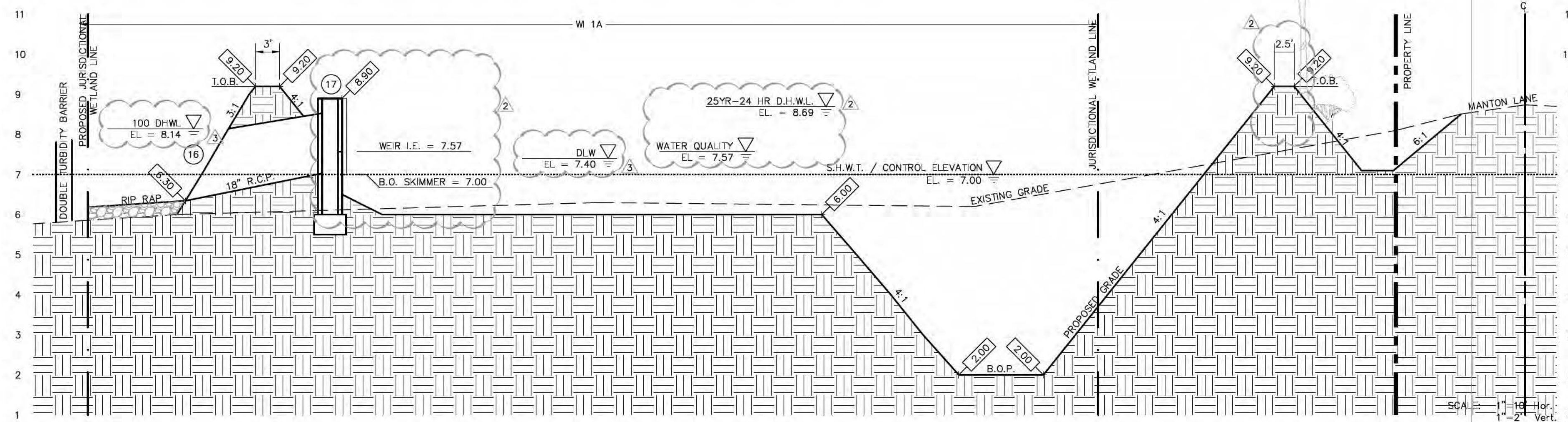


SECTION A:

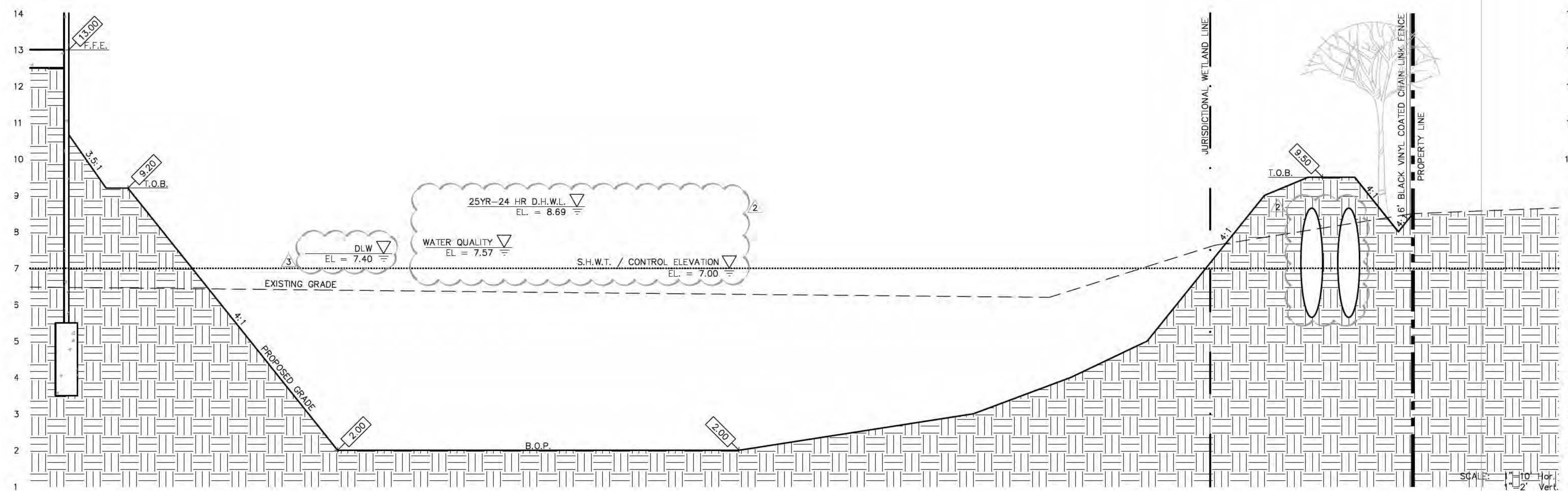


SECTION B:

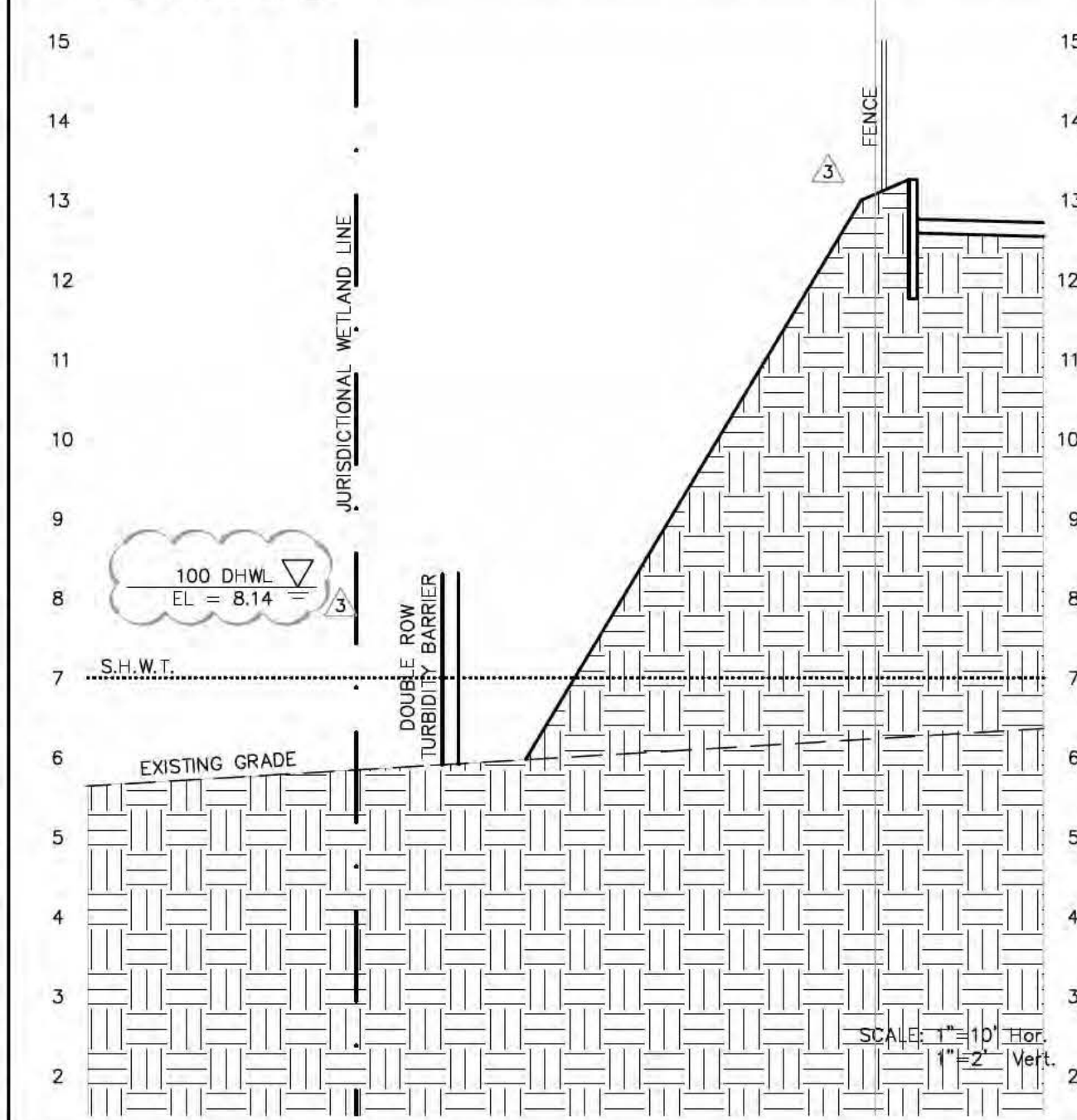
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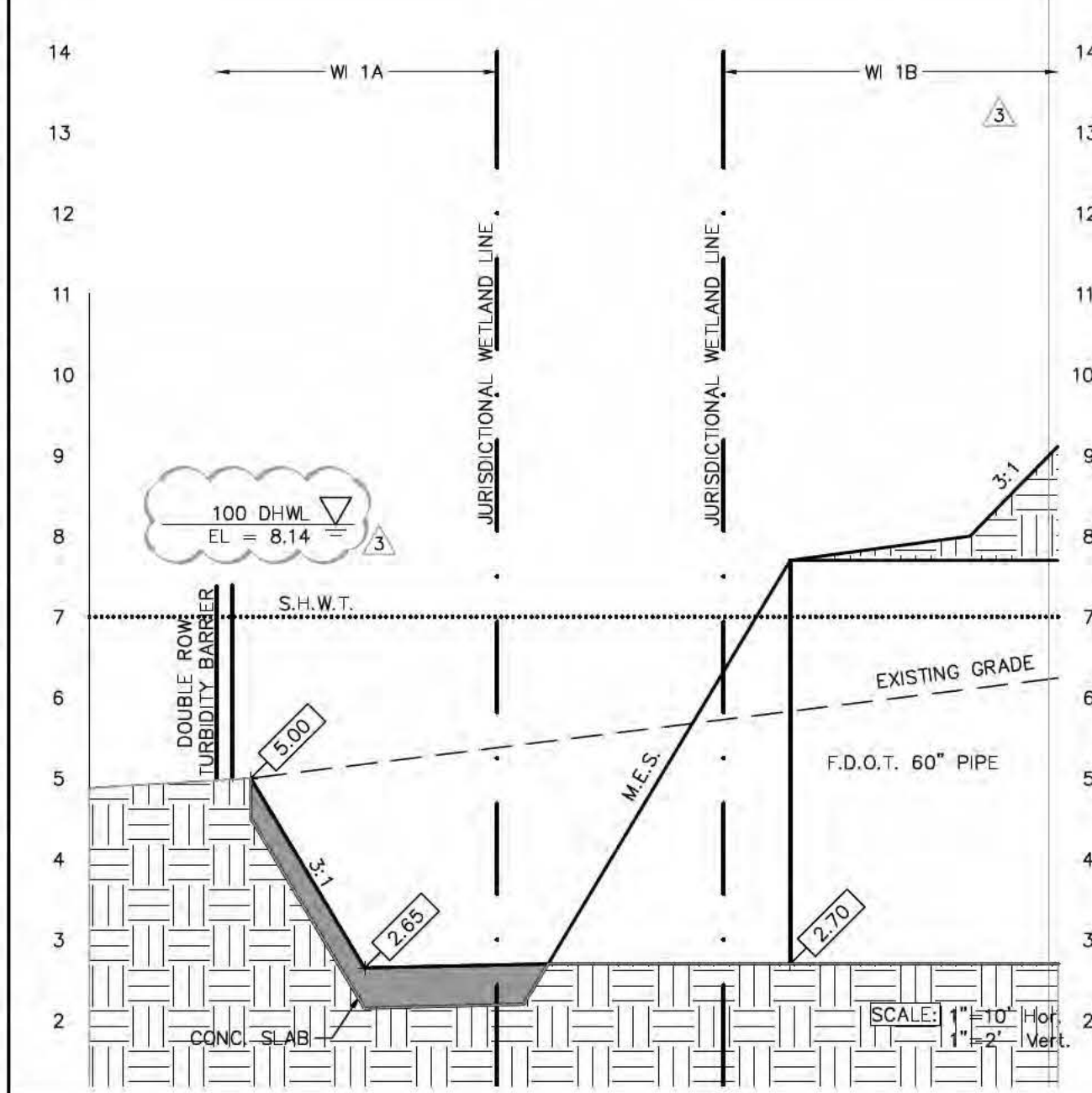
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SECTION E:



SECTION F:



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CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	07/31/19	SW-MMD COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

ROLAND P. DOVE, P.E.  
FL REG. NO. 38933

DATE

HPI Home  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



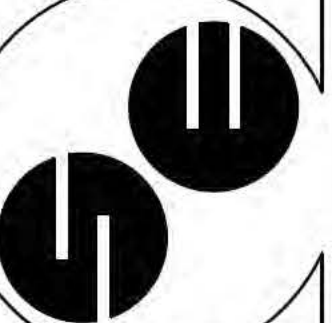
CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.

ENGINEERING • LAND PLANNING • ARCHITECTURE

3014 U.S. HWY 19, HOLIDAY, FL 32707 938-1516

FL COA NO. 00005158 & LICENSE NO. AIA-C001747



SECTIONS

DESIGNED BY: NDIL  
DRAWN BY: NDIL  
CHECKED BY: RPD  
JOB NO.

2018-10

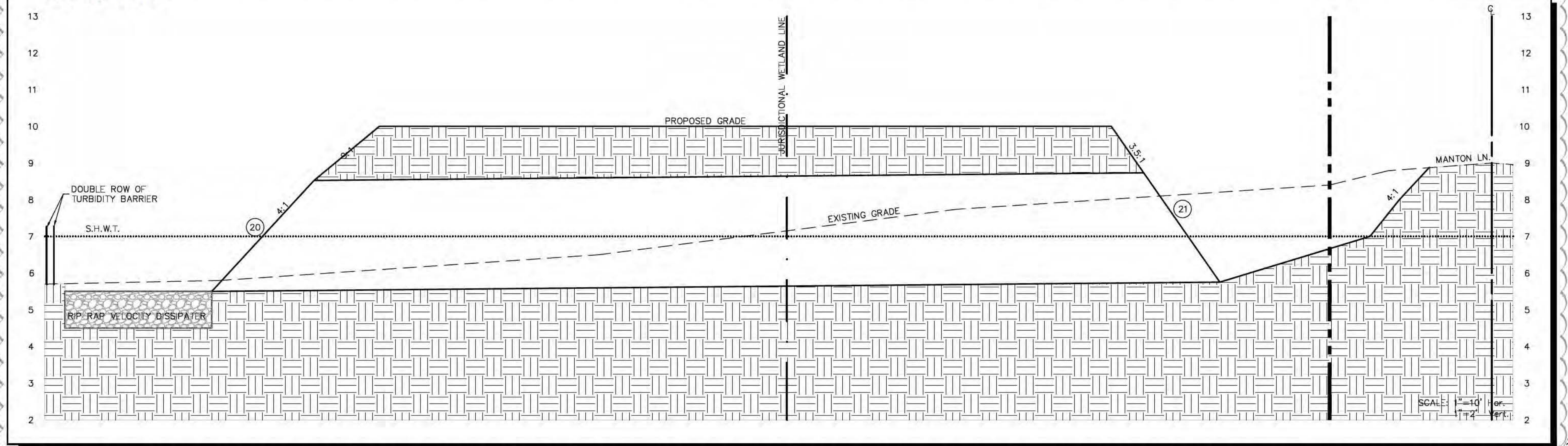
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C3.4

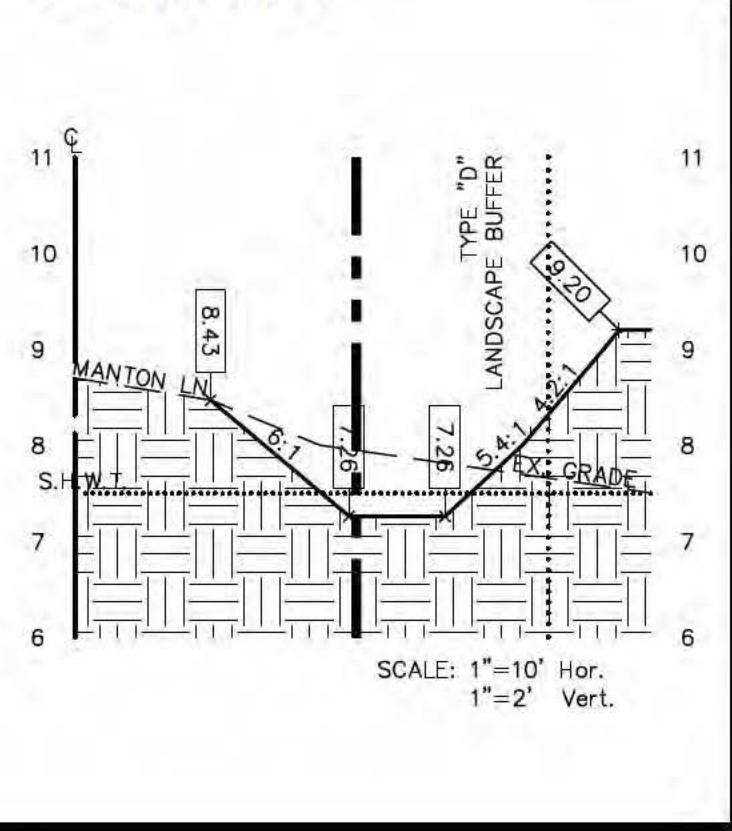
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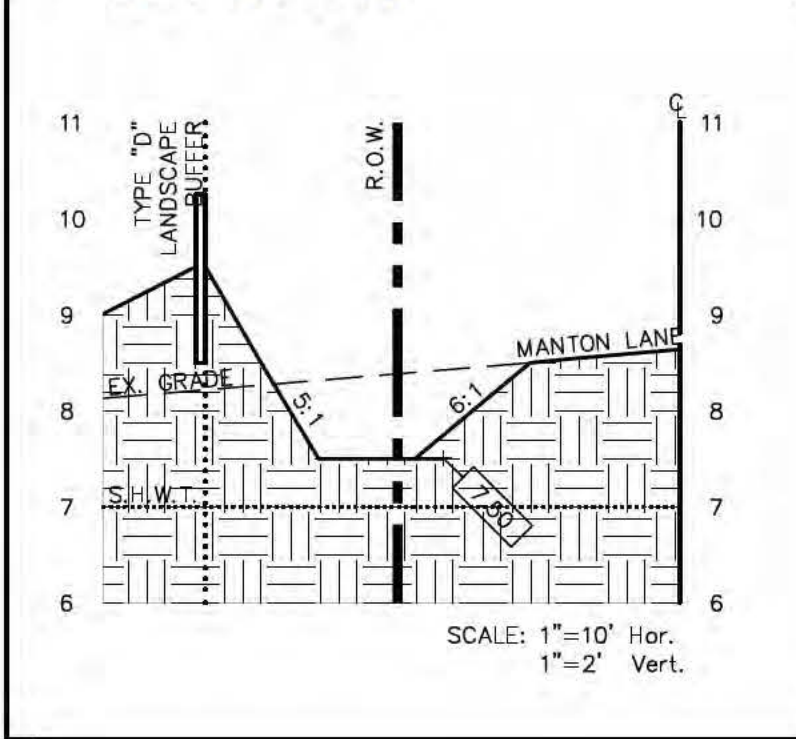
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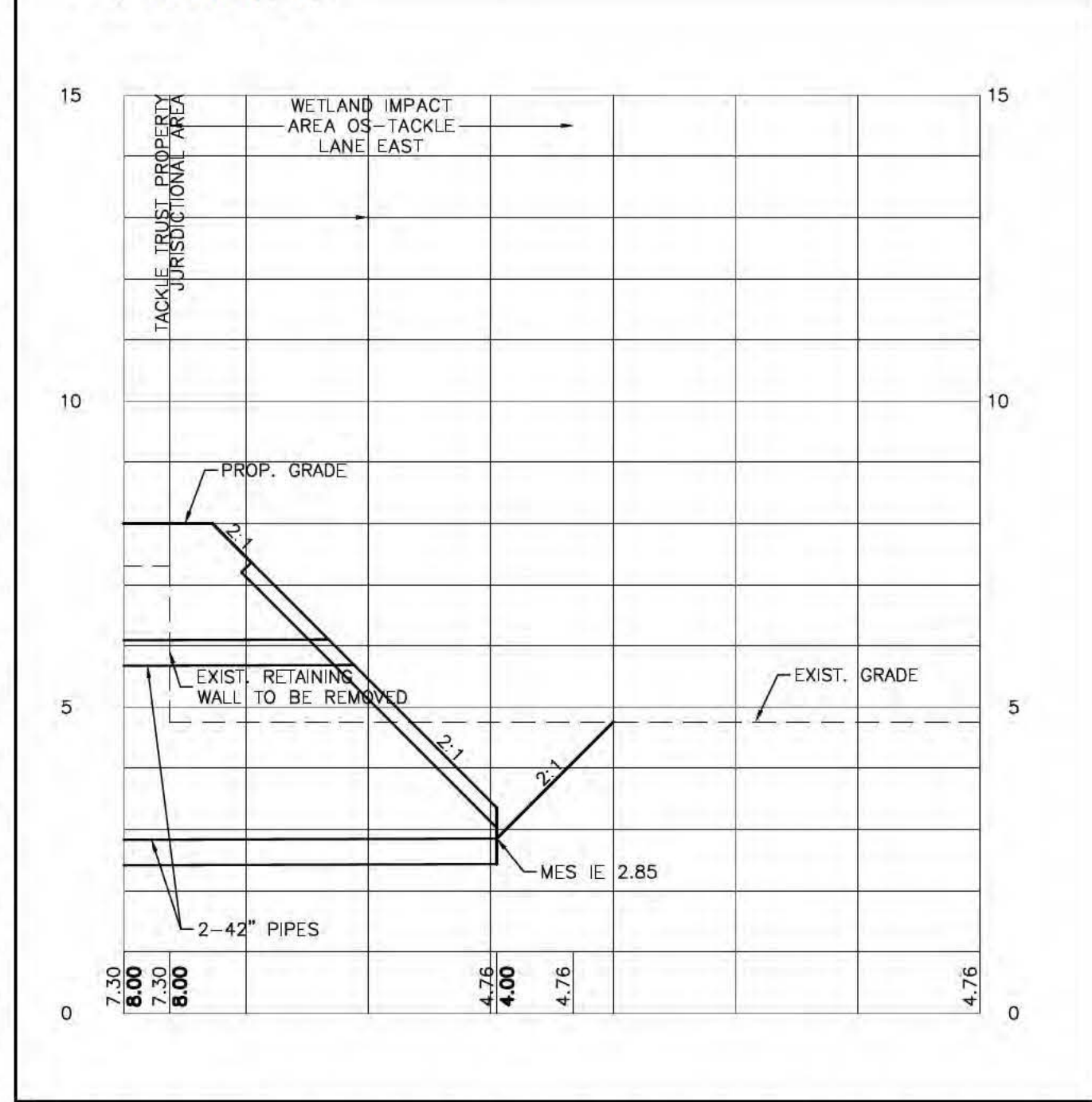
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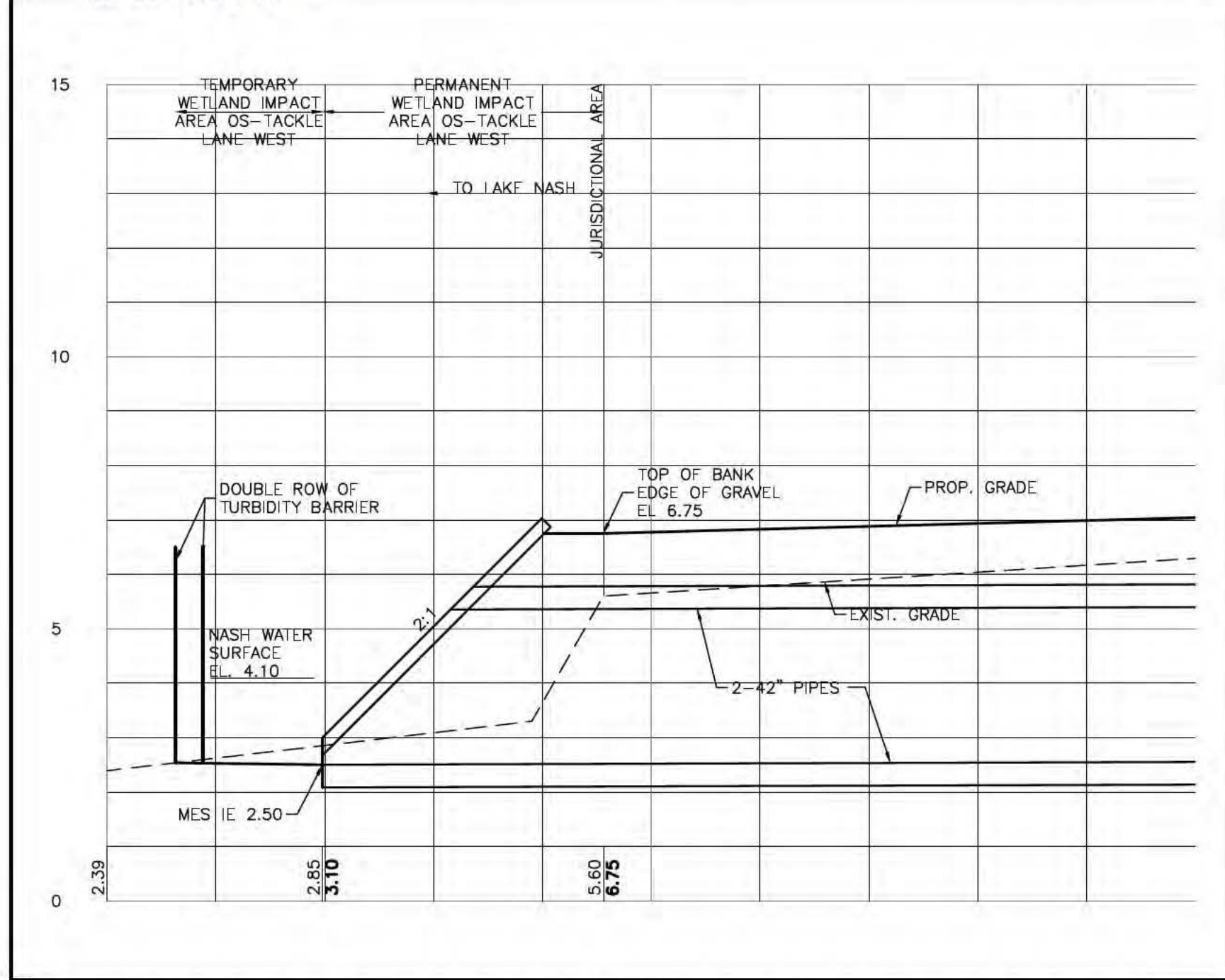
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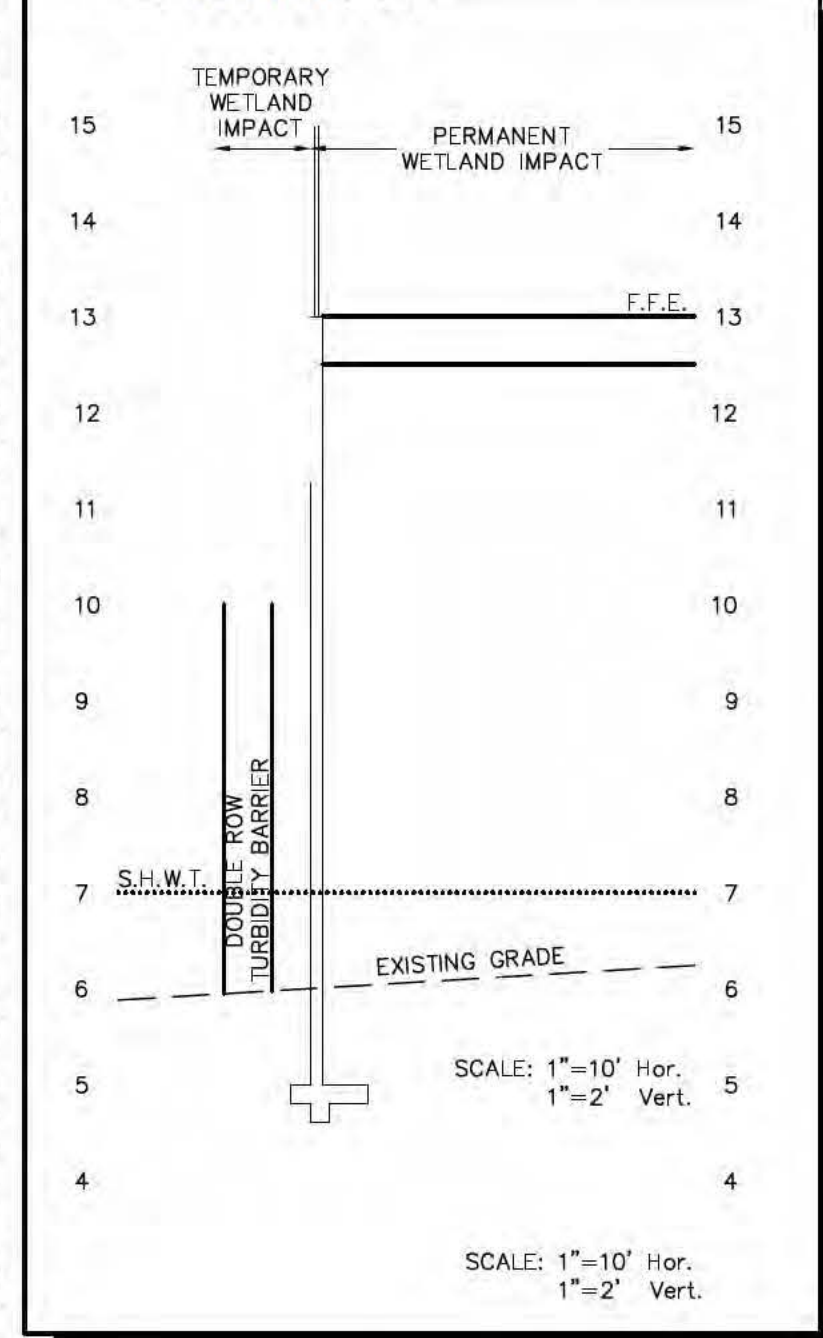
SECTION N:



SECTION O:



SECTION Q:



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CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
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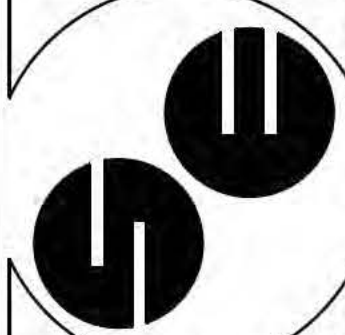
ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

**SPRING ENGINEERING, INC.**  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



SECTIONS  
AND DETAILS

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD

JOB NO.

2018-10

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C3.5

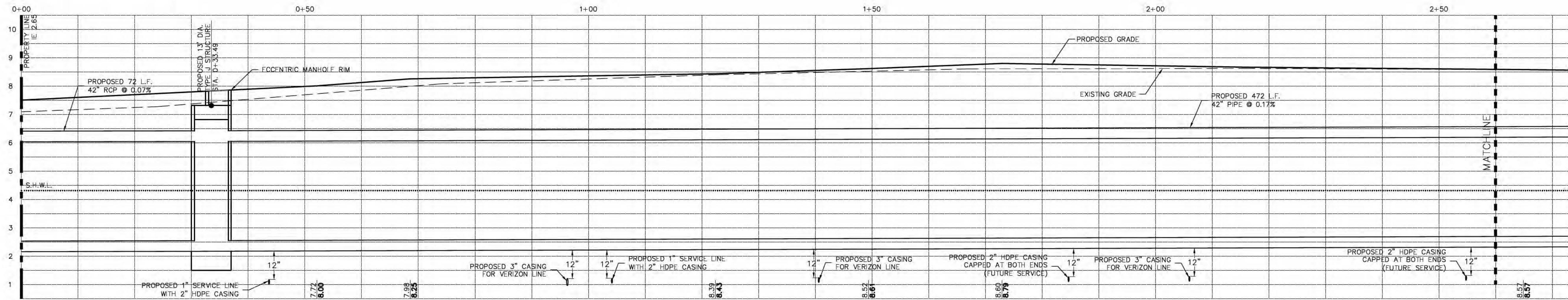
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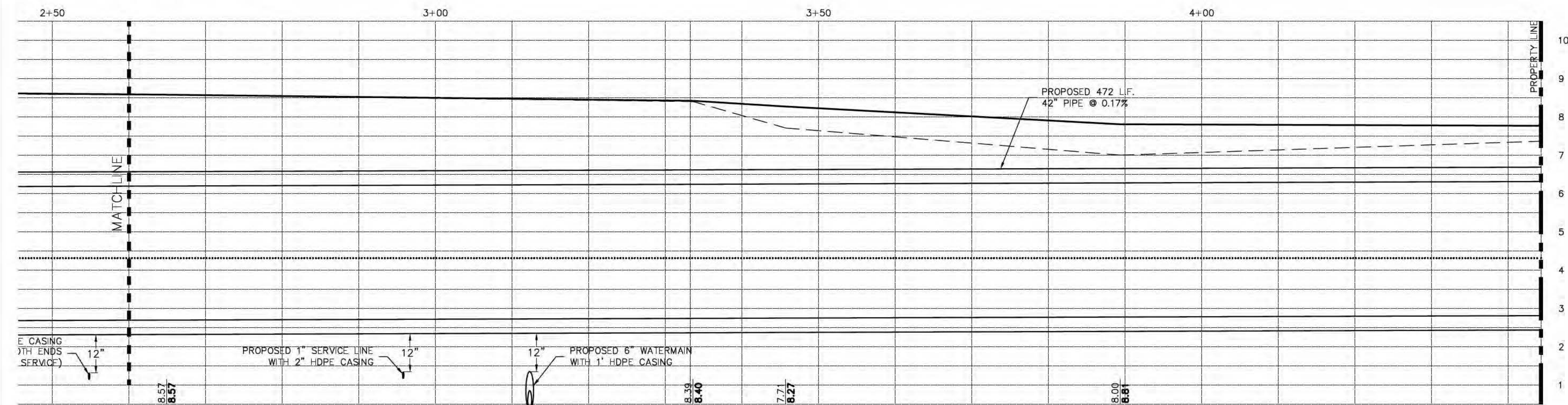




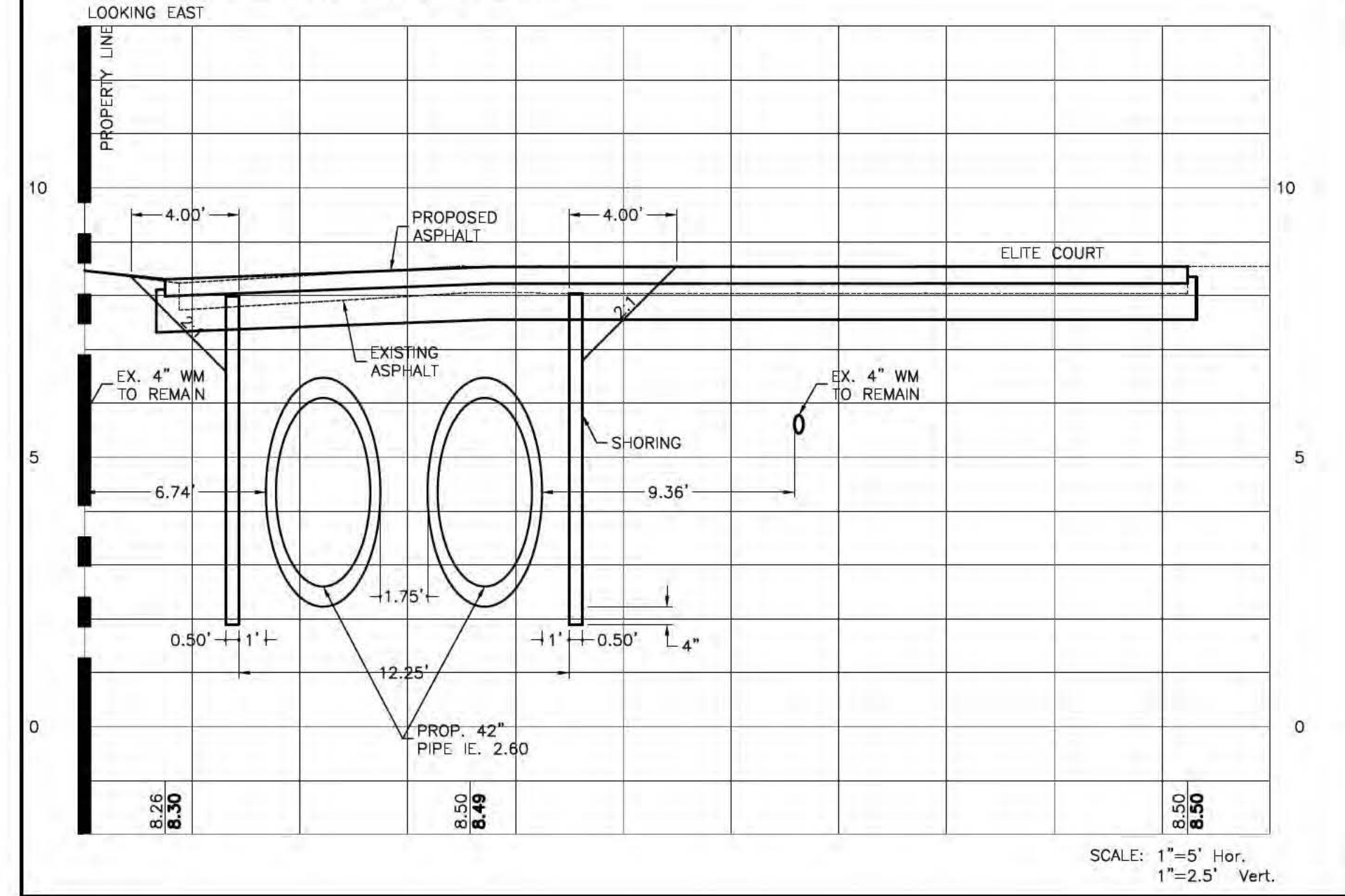
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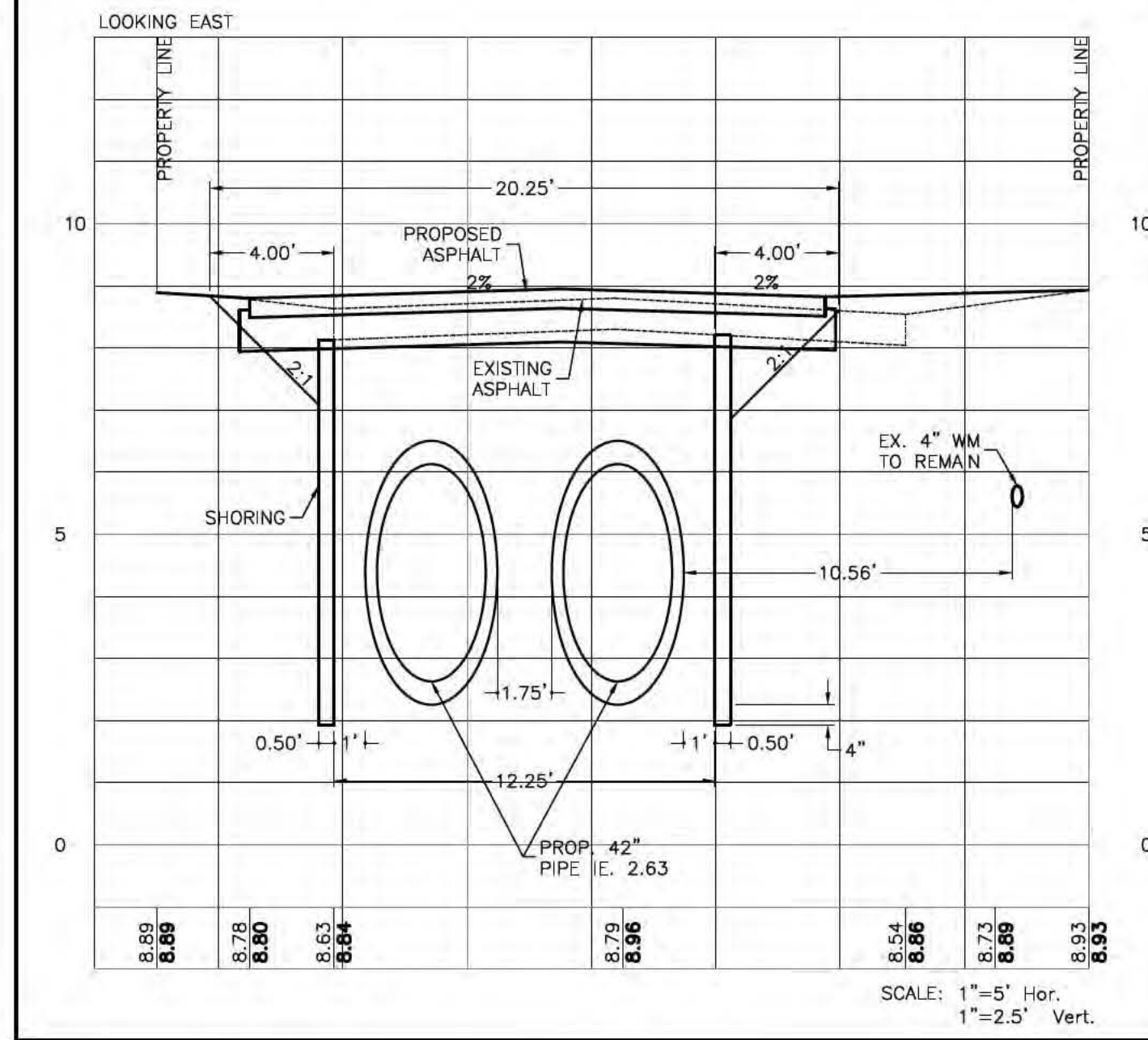
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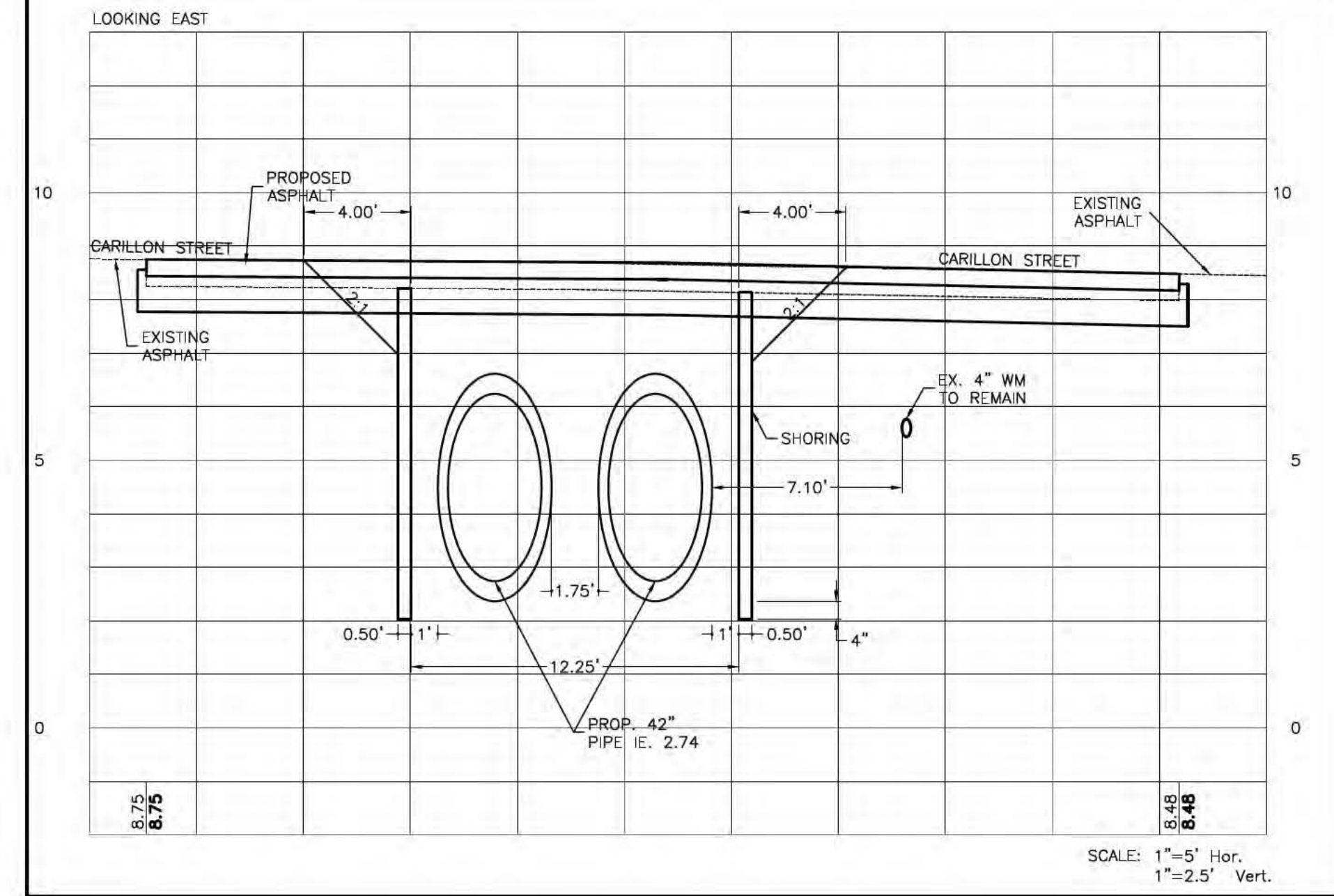
## ELITE COURT 1 TACKLE LANE STA. 1+22.39



## TACKLE LANE STA. 1+72.93



## CARILLON STREET 1 TACKLE LANE STA. 3+33.25



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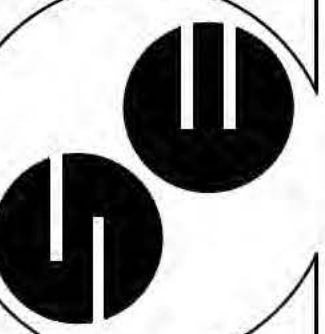
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SPRING ENGINEERING, INC.  
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3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747



TACKLE LANE  
PROFILE AND  
SECTIONS

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10

SHEET NO.  
C3.7

ROLAND P. DOVE, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 36933  
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SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

CONTRACTOR UTILITY NOTE

THE CONTRACTOR MUST VERIFY THROUGH FIELD LOCATION ALL EXISTING UTILITIES, ESPECIALLY THOSE LOCATED WITHIN THE R.O.W. AND INCLUDE IN THE BID THE COST TO CONSTRUCT AND AVOID CONFLICTS WITH PROPOSED INFRASTRUCTURE SUCH AS BUT NOT LIMITED TO STORMWATER LINES AND OTHER PROPOSED UTILITIES THOUGH NOT EXPLICITLY SHOWN ON THE DRAWINGS.

FIRE FLOW CALCULATIONS

FIRE FLOW ANALYSIS:	
ESTIMATED VOLUME REQUIRED FOR PROPER SYSTEM OPERATION	
OCCUPANCY CLASSIFICATION: ORDINARY HAZARD GROUP 2	130
ESTIMATED MAXIMUM PROTECTION AREA PER SPRINKLER (SF):	8.0
ASSUMED K-FACTOR:	10.6
MINIMUM OPERATING PRESSURE OF HMD SPRINKLER (PSI):	8 MIN.
REQUIRED NUMBER OF CALCULATED SPRINKLERS:	207
MINIMUM SPRINKLER FLOW (GPM):	250
HOSE STREAM ALLOWANCE (GPM):	457
ESTIMATED TOTAL FIRE FLOW (GPM):	
ESTIMATED REQUIRED PRESSURE:	
LOSS OF PSI FROM 42" (30'-0" + 3'-0") HEIGHT OF HMD (PSI):	18.19
BACKFLOW LOSS (PSI):	8
HMD REQ. RESIDUAL (PSI):	10.6 MIN.
SAFETY MARGIN:	10%
REQUIRED MIN. PRESSURE (PSI):	40.47
PRESSURE AVAILABLE AT TOTAL FIRE FLOW (PSI):	78.20
EXCESS UTILITY PRESSURE AVAILABLE FOR SYSTEM PIPING (PSI):	37.73

PASCO COUNTY UTILITY NOTES

IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS, AGREE TO THE FOLLOWING:

(A) IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.

(B) PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE RIGHTS.

WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.

A SEPARATE PLAN AND PERMIT, ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHAL'S OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.

FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.

THE SANITARY SEWER PLUGS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL THE SYSTEM HAS BEEN CLEANED, INSPECTED, AND APPROVED BY THE UTILITIES SERVICES BRANCH. WHEN THE SYSTEM HAS BEEN APPROVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE PLUGS.

FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS. RESULTS SHALL BE SUBMITTED TO PASCO COUNTY FIRE RESCUE AND PASCO COUNTY UTILITIES.

ALL UTILITY SYSTEM DESIGN MATERIAL AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.

CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED BY AND INSTALLED BY THE PROJECT CONTRACTOR.

THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES, OR FACILITIES, UNLESS OTHERWISE APPROVED BY THE UTILITIES SERVICES BRANCH.

PRESSURIZED PIPING CANNOT EXCEED 5' DEPTH OF COVER.

ANY LIGHTING USED TO ILLUMINATE ANY PARKING AREA SHALL BE SO ARRANGED AS TO DIRECT AND/OR SHIELD LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES AND RIGHT-OF-WAY. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.

FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.

PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3 WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.

PER NFPA-1, 18.3.4.1, CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.

UTILITY GENERAL NOTES

U1. UTILITIES: ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE BASE AND SURFACE COURSES ARE CONSTRUCTED. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL UTILITIES IN ACCORDANCE WITH LOCAL CODES, WHETHER INDICATED ON THE PLANS OR NOT. CHECK WITH THE LOCAL GOVERNMENT PRIOR TO SUBMISSION. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE INTERRUPTIONS OF EXISTING UTILITY SERVICE DURING CONSTRUCTION AND CONNECTION OF PROPOSED SERVICE LINES. CONFLICTS BETWEEN WATER LINES AND SANITARY SEWER SYSTEMS ARE TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY. CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FOOT (10') HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION WHERE UNDERGROUND SERVICES CONFLICT. PIPE MEASUREMENTS ARE TO CENTER OF STRUCTURES AND ALL LENGTHS ARE PLUS OR MINUS.

U2. WATERMAINS: ALL NEW WATERMAINS, PIPES, FITTINGS, VALVES, PACKING AND JOINING MATERIALS SHALL CONFORM WITH ALL APPLICABLE AWWA STANDARDS AND THE STATE PLUMBING CODE AND SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS AND/OR THE MANUFACTURER'S RECOMMENDED PROCEDURES. ALL WATER MAIN PIPES AND FITTINGS SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD. ALL STONES FOUND IN WATER MAIN TRENCHES SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING TO BE PROVIDED AND BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AND FITTINGS AND TWELVE INCHES (12") ABOVE THE TOP OF THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE. ALL NEW WATER MAINS SHALL BE PRESSURE AND LEAK TESTED PER AWWA STANDARD C600 AND DISINFECTED PER AWWA STANDARD C651 AND RULE 62.555.345 F.A.C. ALL FOUR INCH (4") AND LARGER WATER MAINS TO BE C-300 P.V.C. AND ALL THREE INCH (3") AND SMALLER WATER MAINS TO BE SCHEDULE 40 P.V.C. WATER MAIN TO BE 3' (MIN.) BELOW PROPOSED GRADE.

U3. SANITARY SEWERS: ALL SANITARY SEWER MAINS TO BE PVC (SDR 35).

U4. WATER AND SEWER CONFLICTS

CASE 1: WATER MAIN AND SANITARY SEWER LINES PARALLEL  
1. ALL WATER LINES THAT ARE PARALLEL TO SANITARY SEWER LINES SHALL BE SEPARATED BY A MINIMUM CLEARANCE OF 10 FEET.  
2. ALL WATER LINES THAT ARE PARALLEL TO SANITARY SEWER LINES AND ARE SEPARATED BY A DISTANCE OF LESS THAN 10 FEET SHALL BE CONSTRUCTED ACCORDING TO EITHER OPTION A, B OR C BELOW:  
OPTION A - CONSTRUCT WATER LINE A MINIMUM OF 18" ABOVE THE SEWER AND TO ONE SIDE. WATER LINES AND SEWER LINES SHALL BE MADE OF DUCTILE IRON PIPE AND ALL JOINTS SHALL BE STAGGERED.  
OPTION B - CASE THE WATER MAINS IN STEEL CASING.  
OPTION C - CASE THE WATER MAINS IN CONCRETE.

CASE 2: WATER MAINS AND SEWER LINES CROSS NG  
1. A MINIMUM COVER OF 3' SHALL BE USED ON ALL WATER MAINS.  
2. A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE REQUIRED BETWEEN CROSSING WATER MAINS AND SANITARY SEWER LINES.  
3. WHEN A VERTICAL SEPARATION OF 18" IS NOT POSSIBLE, THE WATER MAIN SHALL EITHER BE CASED IN STEEL OR CASED IN CONCRETE OR CENTER LENGTH OF PIPE TO PREVENT WATER MAIN JOINTS FROM EXPOSURE WITHIN AND/OR OF THE SANITARY SEWER LINE.

UTILITY PLAN LEGEND

FM	EXISTING FORCE MAIN
SAN-SAN	PROPOSED SANITARY SEWER LINE
WM-WM	EXISTING WATER LINE
WM-WM	PROPOSED WATER LINE
F-F	PROPOSED FIRE LINE
T-T	PROPOSED UNDERGROUND TELEPHONE SERVICE
E-E	PROPOSED UNDERGROUND ELECTRICAL SERVICE
1EC	1" UNDERGROUND ELECTRICAL CONDUIT
2EC	2" UNDERGROUND ELECTRICAL CONDUIT
4EC	4" UNDERGROUND ELECTRICAL CONDUIT

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UTILITY KEY NOTES

- 1A. WATER SERVICE EXISTING 8" WATER MAIN.
- 1B. 8"x8" TAPPING VALVE AND SLEEVE, 45 LF 8" PVC WATER LINE (PVC C900 DR-14) 2 - 8"x6" TEE, 8"x1" REDUCER, 8 LF OF 1" SCH. 40 PVC.
- 1C. 3" POTABLE WATER METER FURNISHED AND INSTALLED BY PASCO COUNTY UTILITIES. 1" RPZBFP FURNISHED AND INSTALLED BY THE CONTRACTOR. REFER DETAIL ON SHEET C4.1.
- 1D. 6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY FURNISHED AND INSTALLED BY THE CONTRACTOR. REFER TO DETAIL ON SHEET C4.1.
- 1E. 36 LF 6" PVC C900 DR-14.
- 1F. INSTALL 158 LF OF 1" WATERLINE (SCHEDULE 40 PVC).
- 1G. INSTALL 93 LF OF 6" FIRELINE (C900 PVC DR-14) MIN. 36" COVER. RESTRAIN ALL JOINTS PER PASCO COUNTY RESTRAINT SCHEDULE.
- 1H. INSTALL FIRE HYDRANT AND 6" GATE VALVE IN VALVE BOX. SEE DETAIL ON SHEET C4.1.
- 1I. INSTALL FIRE DEPARTMENT CONNECTION AND 46 LF OF 6" FIRELINE (C900 PVC DR-14) MIN. 36" COVER. RESTRAIN ALL JOINTS PER PASCO COUNTY RESTRAINT SCHEDULE.
- 1J. 1"x1/2" TEE, 3/4" GATE VALVE, 3/4" BENDS, 65 LF 1/2" 3/4" WATERLINE (SCHEDULE 40 PVC) FOR HOSE BIB.
- 1K. EXISTING FIRE HYDRANT.
- 2A. SEWER SERVICE EXISTING 8" FORCE MAIN.
- 2B. ABOVE GROUND AIR-RELEASE VALVE, REFER TO DETAIL ON SHEET C4.1.
- 2C. 77 LF OF 2" PVC SAN. FORCE MAIN. CONNECT TO EXISTING FORCE MAIN PER DETAIL 34 ON SHEET C4.1.
- 2D. NEW LIFT STATION, REFER TO DETAILS ON SHEET C4.2. CONTRACTOR TO PROVIDE POWER.
- 2E. 182 LF OF 4" PVC SAN. SEWER @ 2.0% UPSTREAM IE 9.00.
- 2F. CLEANOUT WITH PEDESTRIAN FRIENDLY H-5 RATED LID AT GRADE.
- 3A. IRRIGATION WATER SERVICE IRRIGATION SLEEVE. CONTRACTOR SHALL PROVIDE PULL WIRE AND FLAG ENDS OF SLEEVES. VERIFY SLEEVE LOCATIONS WITH IRRIGATION CONTRACTOR.
- 3B. IRRIGATION WELL AND RAIN SENSOR. REFER TO SPECS. ON SHEET C6.
- 4A. ELECTRIC SERVICE INSTALL 116 LF OF 4" CONDUIT & (1) PULL BOX FROM POINTS OF CONNECTION TO NEW PAD MOUNTED TRANSFORMER. CONTRACTOR TO COORDINATE LENGTH AND LOCATION WITH POWER COMPANY.
- 4B. INSTALL DUAL 53 LF OF 4" CONDUIT FROM NEW PAD MOUNTED TRANSFORMER TO NEW BUILDING. COORDINATE LENGTH AND LOCATION WITH POWER COMPANY, ARCHITECTURAL PLANS, AND ELECTRICAL CONTRACTOR.
- 4C. INSTALL PAD MOUNTED TRANSFORMER, CONTRACTOR TO COORDINATE INSTALLATION WITH ELECTRIC COMPANY.
- 4D. SITE LIGHTING, REFER TO DETAIL ON SHEET C4.1.
- 4E. SECURITY WALL PACK, REFER TO ELECTRICAL PLANS.
- 4F. 100 LF OF 2" ELECTRICAL CONDUIT.
- 5A. TELEPHONE SERVICE INSTALL 158 LF OF DUAL 4" CONDUIT (316 LF TOTAL) FROM POINT OF CONNECTION TO NEW BUILDING. CONTRACTOR TO COORDINATE LENGTH AND LOCATION WITH TELEPHONE COMPANY. (ONE CONDUIT FOR TELEPHONE AND ONE CONDUIT FOR DATA SERVICE). D.P. WHERE SHOWN ON INTERSECTION 2 ON SHEET C4.2.

Utility Plan

Scale: 1"=30'

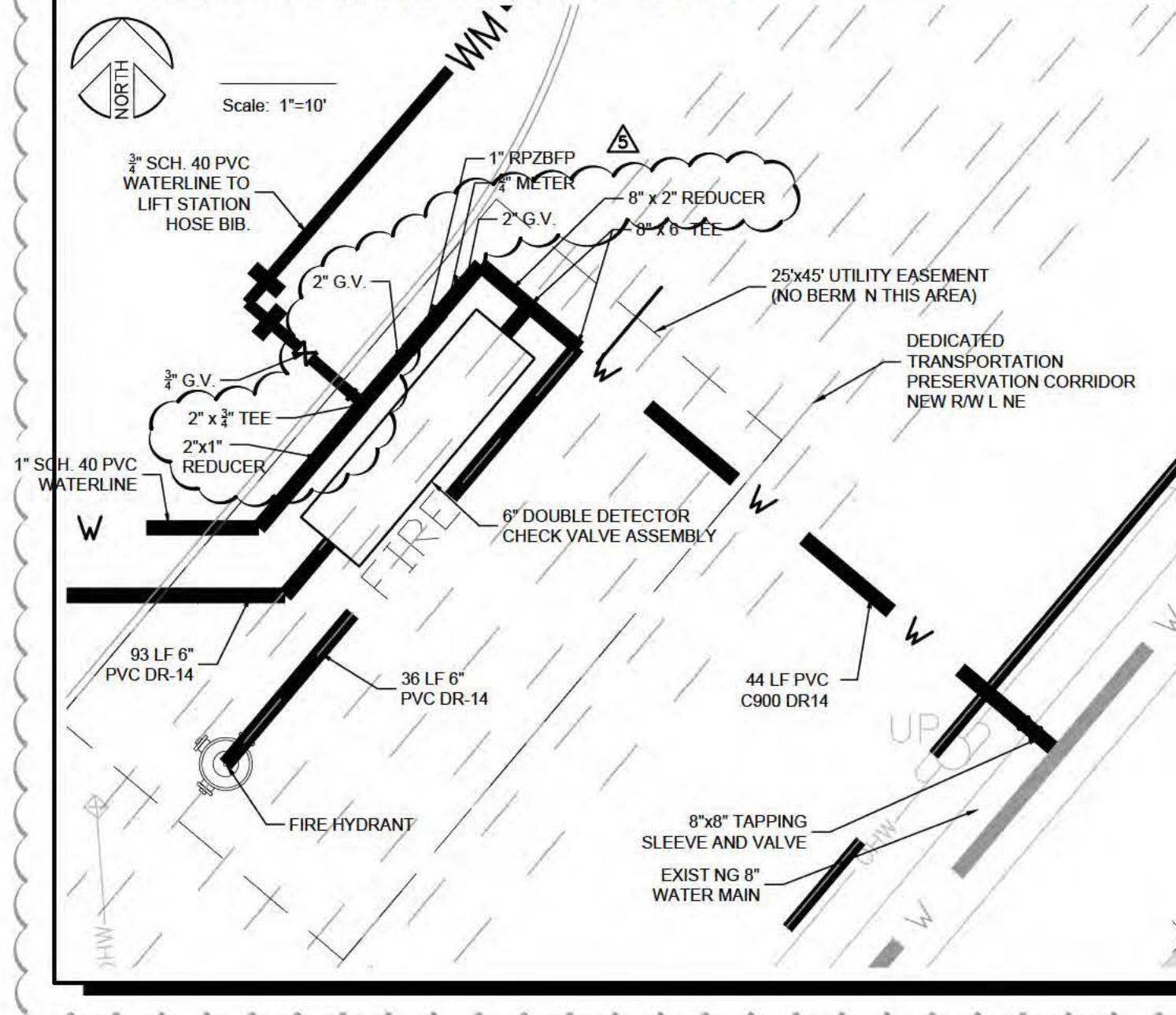


UTILITY NOTES

CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS TWO INCHES AND LARGER ARE AS FOLLOWS:

- 2" ONLY: THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET. THE COUNTY WILL PROVIDE THE TAPPING SADDLE, CORPORATION STOP, STAINLESS STEEL NIPPLE, AND RON BODY VALVE.
- 3" AND LARGER: THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SHIELDING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
- NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$99.00.
- IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, MAINTENANCE SUPERVISOR, UTILITIES SERVICES BRANCH, AT (813) 235-6189, OR E-MAIL: NHOLT@PASCOCOUNTYFL.NET

WATER DISTRIBUTION POINT



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REVISIONS	
REV	DESCRIPTION
1	12/14/18 GENERAL REVISIONS
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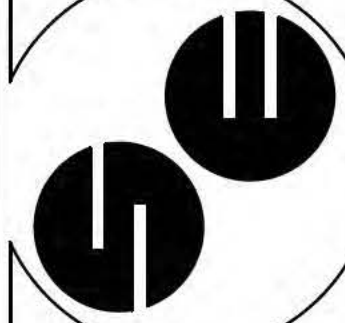
ROLAND P. DOVE, P.E.  
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UTILITY PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
C4.0











SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

LEGEND

PROP WATERMAIN

WM

PROP UNDERGROUND VERIZON

UG VZN

SILT FENCE

UTILITY GENERAL NOTES

SEE SHEET C4

TACKLE LANE UTILITY KEYNOTES

1

64 LF OF 4" PVC DR-18 WATERMAIN WITH A MINIMUM 36" COVER. TO BE CONSTRUCTED PER PASCO COUNTY UTILITIES STANDARDS.

2

INSTALL 268 LF OF 6" C900-DR-18 PVC PIPE. PER PASCO COUNTY DETAIL 17.

3

NOT USED.

4

24 LF OF 3" HDPE CASING EXTENDED 2' BEYOND PROPOSED EDGE OF PAVEMENT ON EACH SIDE. COORDINATE WITH VERIZON.

5

NOT USED.

6

24 LF OF 2" HDPE CASING EXTENDED 2' BEYOND PROPOSED EDGE OF PAVEMENT ON EACH SIDE. 1" POLYETHYLENE TUBING SERVICE CONNECTION. PER PASCO COUNTY DETAIL 17.

7

REPLACE EXISTING VERIZON UNDERGROUND CABLE AT THIS LOCATION. COORDINATE WITH VERIZON.

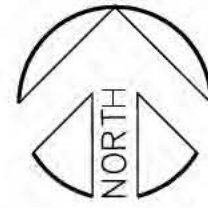
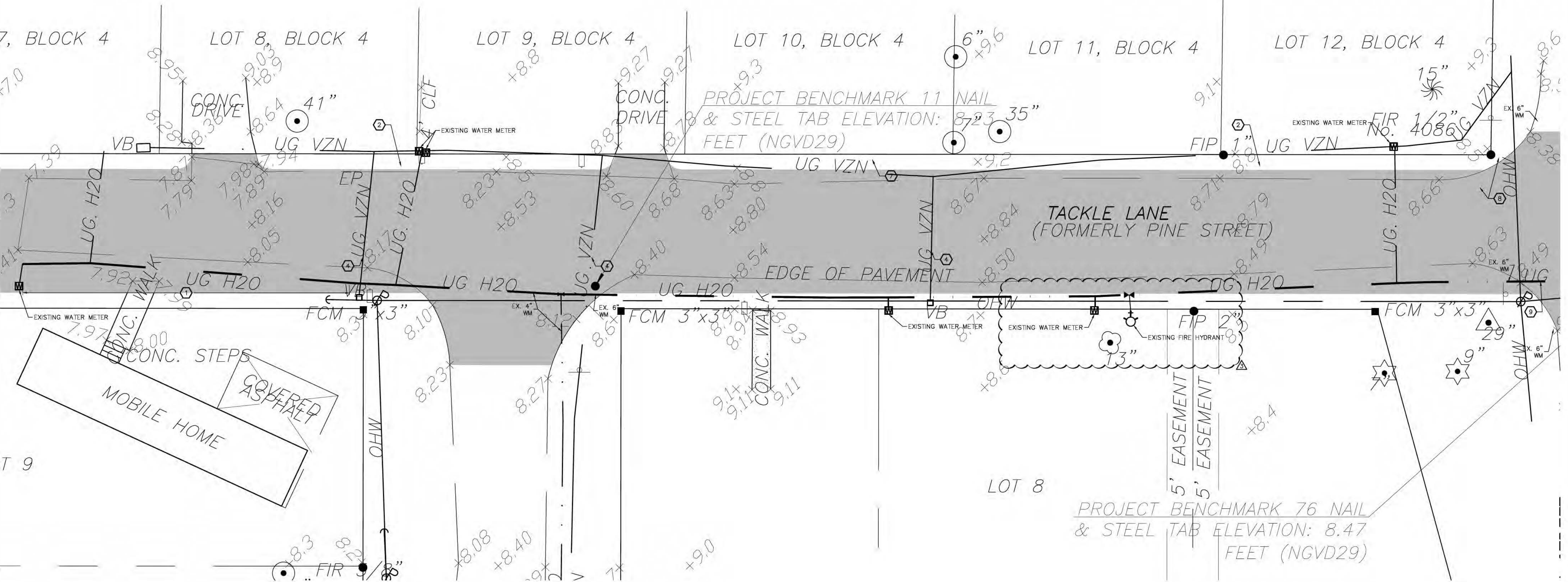
8

24 LF OF 1" HDPE CASING EXTENDED 2' BEYOND PROPOSED EDGE OF PAVEMENT ON EACH SIDE. 35 LF OF 6" PVC DR-18 WATERMAIN WITH A MINIMUM 36" COVER, 6" TEE, 2-90° ELBOWS. TO BE CONSTRUCTED PER PASCO COUNTY UTILITIES STANDARDS.

9

CONNECT EXISTING 6" WATERMAINS. PER PASCO COUNTY STANDARDS.

ADELL GARDENS  
(PLAT BOOK 5, PAGE 29)



Tackle Lane Utility Plan

Scale: 1"=10'



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100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV 3 02/27/19 PASCO COUNTY COMMENTS

ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

DATE

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida

HPI

CONTRACT DATE:  
APRIL 29, 2018

SPRING ENGINEERING, INC.  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AIA-C00147

SE

TACKLE LANE  
UTILITY PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10

SHEET NO.  
C4.3



SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

Manton Lane

Asphalt - R.O.W. 30'

V.U.A. CALCULATIONS

TOTAL VEHICULAR USE AREA: 32,071 S.F.  
MIN. 10% DEDICATED TO LANDSCAPING: 3,207 S.F.  
TOTAL LANDSCAPING PROVIDED IN V.U.A.: 4,729 S.F.

TREE PROTECTION / MAINTENANCE

PROTECTIVE BARRIERS AND THE USE OF OTHER MEASURES TO PREVENT TREE DAMAGE (PESTICIDE APPLICATION, ROOT PRUNING, INTENSIVE MULCHING TO REDUCE SOIL COMPACTING, ET CETERA) WILL BE REQUIRED AS NECESSARY. ANY STACKING OF SOILS, DEBRIS, CONSTRUCTION MATERIALS, VEHICLES, AND ET CETERA WITHIN THE REQUIRED BARRICADES IS STRICTLY PROHIBITED. ANY TREE LOSSES INCURRED DURING CONSTRUCTION MAY BE SUBJECT TO REPLACEMENT PENALTIES.

TREES SHALL BE TRIMMED OR PRUNED IN SUCH A MANNER SO AS NOT TO ALTER THEIR NATURAL FORM, GROWTH HABIT OR CHARACTER AND SHALL NOT BE PRUNED INTO UNNATURAL SHAPES, INCLUDING CIRCLES, OVALS, SQUARES AND OTHER HARD-EDGED GEOMETRIC SHAPES. NOT MORE THAN ONE-THIRD OF THE TREE CANOPY SHALL BE TRIMMED OR PRUNED IN ANY YEAR UNLESS IT IS DEAD. TREE TOPPING IS NOT ALLOWED UNDER ANY CIRCUMSTANCE.

PLANT LIST

SHADE TREES		DIFFERENT SPECIES EACH 5 TREES		(UP TO 8 SPECIES MIN. WITH 40 TREES)	
SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	NE DT
	1	LAGERSTROEMIA INDICA (LI)	GRAPE MYRTLE	3" CALIPER (MIN) 12'-14' HT. 4'-5' SPREAD	NO YES
	5	ILEX OPACA (IO)	HOLLY	3" CALIPER (MIN) 12'-14' HT. 4'-5' SPREAD	YES YES
	48	SABAL PALMETTO (SP)	CABBAGE PALM	MIN. 10' C.T. CLUSTERS OF 3 AT 8' O.C.	YES YES
	7	CORNUS FLORIDA (CF)	DOGWOOD	3" CALIPER (MIN) 10' HT. 4'-5' SPREAD	YES YES
	9	CERCIS CANADENSIS (CC)	REDBUD	3" CALIPER (MIN) 12'-14' HT. 4'-5' SPREAD	YES YES
	6	QUERCUS VIRGINIANA (QV)	LIVE OAK	3" CALIPER (MIN) 12'-14' HT. 4'-5' SPREAD	YES YES

PALMS MAY BE SUBMITTED, 3 PALMS FOR 1 SHADE TREE, MAX. 30% CLUSTERS OF 3 - 8' O.C.

SHRUBS		MAX. 25% EACH SPECIES BY QUANTITY		(= MIN. 4 SPECIES)	
SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	NE DT
	157	ILEX CORNUTA BURFORDII (B)	BURFORD HOLLY	3 GAL., 24" HT. x 24" SPR.	NO YES
	88	RHAPHIOLEPIS INDICA (I)	INDIAN HAWTHORN	24" HT. x 24" SPR.	NO YES
	62	PLUMBAGO AURICULATA (P)	PLUMBAGO	3 GAL., 24" HT. x 24" SPR.	NO YES
	91	ILEX GLABRA (G)	GALLBERRY	3 GAL., 24" HT. x 24" SPR.	YES YES
	107	HIBISCUS ROSA-SINENSIS (H)	HIBISCUS	3 GAL., 24" HT. x 24" SPR.	NO YES

MAX. 30% OF REQUIRED LANDSCAPE AREA MAY BE GRASSED

GROUND COVER		MAX. 25% EACH SPECIES BY QUANTITY		(= MIN. 4 SPECIES)	
SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	NE DT
	1,472 S.F.	LIRIOPE SPP. (LMG)	GIANT LIRIOPE	1 GAL., 12" HT. x 12" SPR., 2' O.C.	NO NO
	32,870 S.F.	BAHIA (SOD)	BAHIA	95% WEED FREE	YES NO

-SPACED TO PRESENT FINISHED APPEARANCE & OBTAIN A REASONABLY COMPLETE COVERAGE IN ONE YEAR  
-MAX. 30% OF REQUIRED LANDSCAPE AREA MAY BE GRASSED

TREE REMOVAL

LIVE OAKS		OTHER TREES (>10')	
SIZE (INCHES)	No.	SIZE (INCHES)	No.
12"	1	12"	9
13"	1	13"	175
14"	3	14"	
15"	1	15"	
16"	2	16"	
17"	2	17"	
18"	2	18"	
19"	2	19"	
20"	2	20"	
21"	1	21"	
22"	1	22"	
23"	1	23"	
24"	1	24"	
25"	2	25"	
26"	2	26"	
27"	1	27"	
28"	1	28"	
29"	2	29"	
30"	2	30"	
31"	2	31"	
32"	2	32"	
33"	2	33"	
34"	2	34"	
35"	2	35"	
36"	2	36"	
TOTAL:	22	464"	9

TREES TO BE PLANTED	
SIZE (INCHES)	No.
3"	92

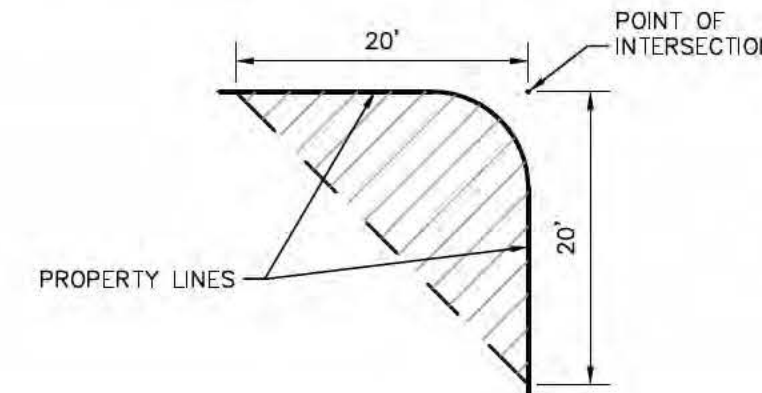
REPLACEMENT INCHES	
SIZE (INCHES)	No.
3"	92
4"	175
5"	175
6"	175
7"	175
8"	175
9"	175
10"	175
11"	175
12"	175
13"	175
14"	175
15"	175
16"	175
17"	175
18"	175
19"	175
20"	175
21"	175
22"	175
23"	175
24"	175
25"	175
26"	175
27"	175
28"	175
29"	175
30"	175
31"	175
32"	175
33"	175
34"	175
35"	175
36"	175

BUILDING PERIMETER CALCS.

BUILDING AREA: 40,688 S.F.  
MIN. 10% DEDICATED TO LANDSCAPING: 4,069 S.F.  
TOTAL BUILDING PERIMETER LANDSCAPING PROVIDED: 4,615 S.F.  
BUILDING PERIMETER: 885 L.F.  
MIN. 50% DEDICATED TO LANDSCAPING: 443 L.F.  
TOTAL BUILDING PERIMETER LANDSCAPING PROVIDED: 518 L.F.

CLEAR SIGHT TRIANGLE

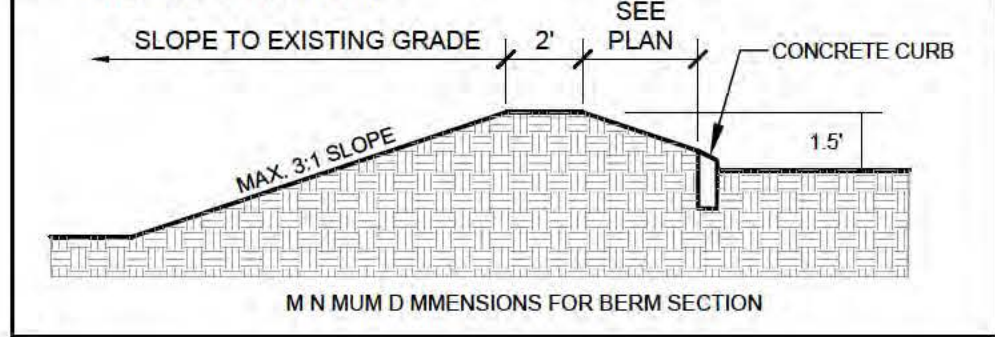
NOTHING ABOVE THREE AND ONE HALF (3-1/2) FEET IN HEIGHT SHALL BE LOCATED IN THE TRIANGULAR AREA AS SHOWN IN THE DIAGRAM:



NOTES

IRRIGATION PLANS ARE DESIGNED TO COMPLY WITH LANDSCAPING AND IRRIGATION ORDINANCE SECTION 15.

BERM SECTION



TYPE 'A' BUFFER

10' WIDE W/ TREES @ 60' O.C. AND A CONTINUOUS ROW OF SHRUBS.

TYPE 'D' BUFFER

15' WIDE, TREES @ 30' O.C., 5 SHRUBS PER TREE AND GROUND COVER OVER 18" BERM ADJACENT TO PARKING SPACES (SEE BERM DETAIL).

ALL DISTURBED F.D.O.T. RIGHT-OF-WAY AREAS SHALL BE SODED

Alternate Highway 19  
Asphalt - Existing R.O.W. 100'  
Transportation Corridor R.O.W. 142'

Landscape Plan

Scale: 1"=30'

100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS
2	01/31/19	SW M&M COMMENTS
3	02/27/19	PASCO COUNTY COMMENTS

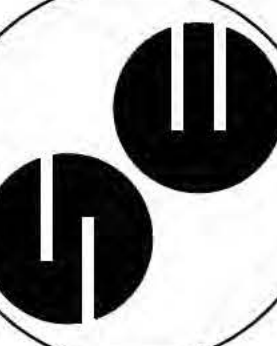
ROLAND P. DOVE, P.E.  
FL REG. NO. 38653  
DATE

HPI Horne  
Storage, L.L.C.  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

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FL COA NO. 00005158 & LICENSE NO. AA-C001747



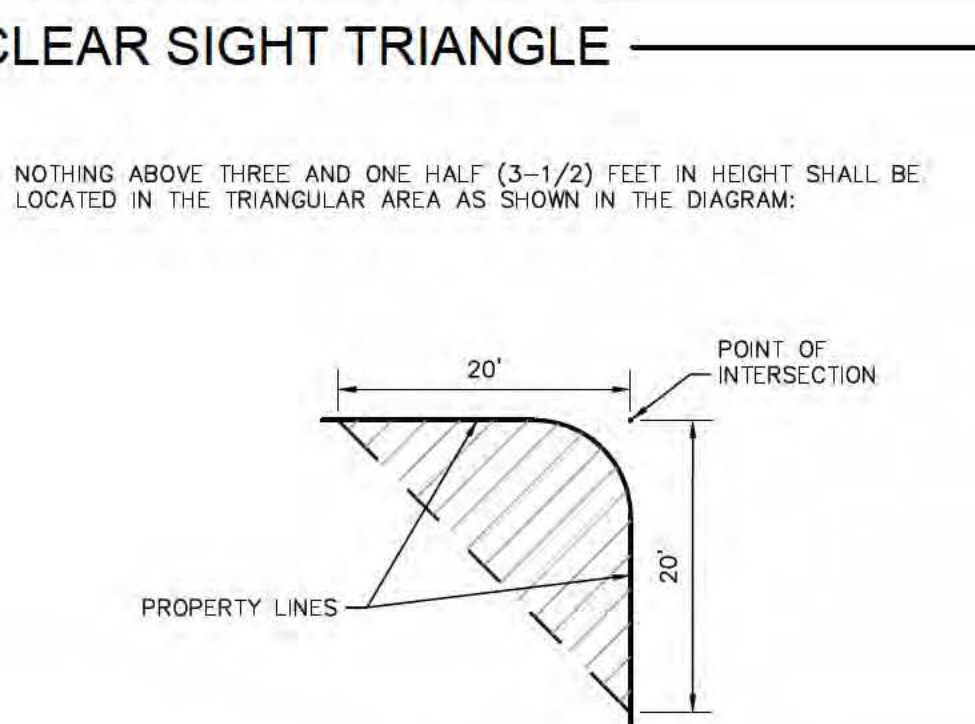
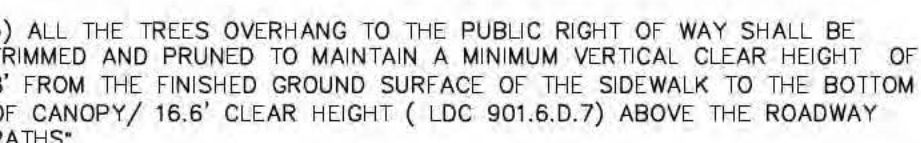
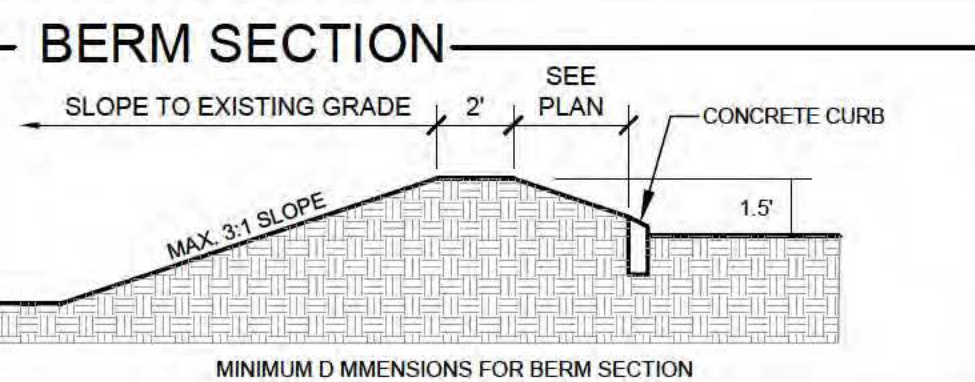
LANDSCAPE PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
C5.0

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1. Maintenance Responsibility. The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
2. Clear-Sight Triangle. Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and nonreflective visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
3. Sustainable Practices. Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
4. Diversity. A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Florida species, suitable for growth in the county. (LDC 905.2-C.1.d)
5. Diversity. No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
6. Quality. All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
7. Avoid Easements. Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.c)
8. Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall

may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.b)

9. Quality Practices. All landscaping shall be installed in accordance with standards and practices of the Florida Nursery Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
10. All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
11. All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
12. Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)

1. ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AND INSTALLED TO HIGHEST NURSERY STANDARDS. PLANTS SHALL BE HEALTHY, FREE OF PEST AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN EXCEPT AS NOTED ON PLAN.
3. ALL PALMS AND TREES SHALL HAVE STRAIGHT TRUNKS WITH NO TWISTS, KNOTTING OR OTHER DEFECTIVE CHARACTERISTICS.
4. MULCH SHALL BE 100% PINE BARK, INSTALLED TO A MINIMUM THICKNESS OF 3".
5. SOD SHALL BE 95X WIDE FREE ST. AUGUSTINE "FLORATAM", INSTALLED WITH TIGHT JOINTS.
6. ALL DIMENSIONS SHALL BE FIELD CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION WITH ANY DISCREPANCIES REPORTED TO THE LANDSCAPE ARCHITECT.
7. ALL MATERIALS SHALL BE AS SPECIFIED ON THE PLANS. IF MATERIALS, LABOR OR INSTALLATION TECHNIQUES DO NOT ADHERE TO THE SPECIFICATIONS, THEY WILL BE REJECTED BY THE LANDSCAPE ARCHITECT WITH SPECIFIED MATERIALS AND INSTALLATION CARRIED OUT BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.
8. NO SUBSTITUTIONS OF MATERIALS OR CHANGES TO THE DRAWINGS OR SPECIFICATIONS SHALL BE MADE.
9. ALL REQUIRED PERMITS ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS SPECIFICALLY STATED OTHERWISE IN THE SPECIFICATIONS.
10. CONTRACTOR IDENTIFICATION SIGNS SHALL NOT BE ALLOWED ON THE PROJECT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS AS SHOWN OR DESCRIBED ON THIS PLAN AND SPECIFICATIONS.
12. ALL PROPOSED LANDSCAPE AND SOD AREAS CONTAINING TURF OR WEEDS SHALL BE TREATED WITH "ROUND-UP" PER MANUFACTURER'S SPECIFICATIONS.
13. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SITE PREPARATION REQUIRED TO READY THE SITE FOR PLANTING AS SPECIFIED.
14. THE LANDSCAPE CONTRACTOR SHALL WARRANTY AND GUARANTEE ALL MATERIALS AND LABOR FOR A PERIOD OF 90 DAYS FOR SHRUBS AND GROUNDCOVER, PALMS AND TREES. WARRANTY AND GUARANTEE PERIOD SHALL BEGIN UPON DATE OF COMPLETION.
15. ALL REPAIRS AND/OR REPLACEMENTS SHALL BE MADE BY THE LANDSCAPE CONTRACTOR WITHIN 10 WORKING DAYS UPON NOTIFICATION OF ANY DEFICIENCIES BY THE OWNER OR THEIR REPRESENTATIVE.
16. ALL QUESTIONS REGARDING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
17. ALL DISTURBED AREAS IN FDOT RIGHT-OF-WAY SHALL BE SODDED.

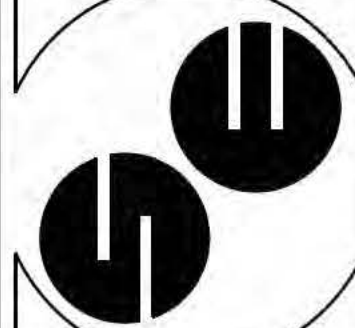
ROLAND P. DOV  
FL REG. No. 3  
DATE

**HPI Horne  
Storage, L.L.C.**  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

**SPRING ENGINEERING, INC.**  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AIA-C001747

LANDSCAPE  
DETAILS

DESIGNED BY: NDL
DRAWN BY: NDL
CHECKED BY: RPD
JOB NO.

JOB NO. 2018-10

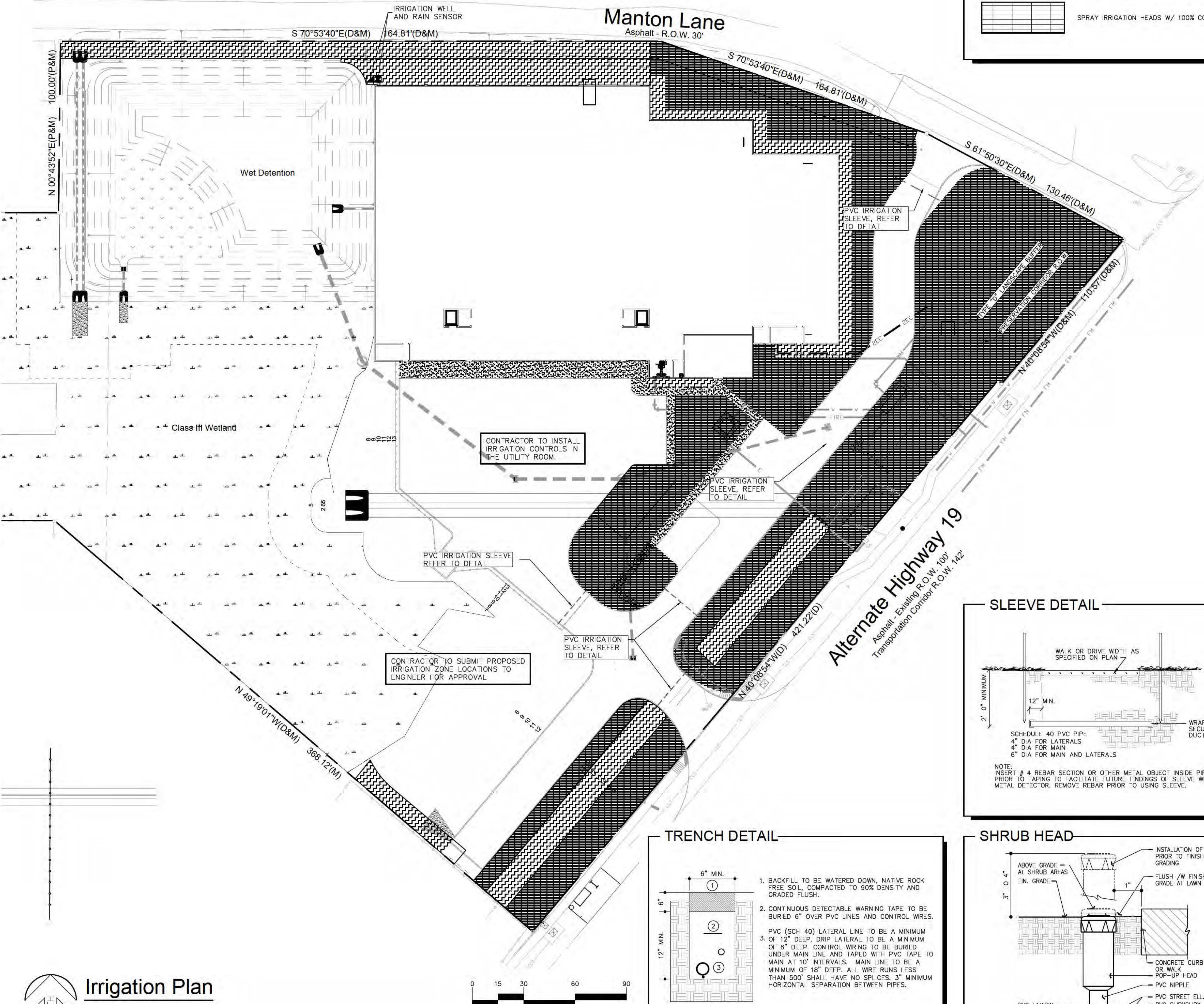
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SECTIONS 31, TOWNSHIP 26 SOUTH, RANGE 16 EAST  
PASCO COUNTY, FLORIDA

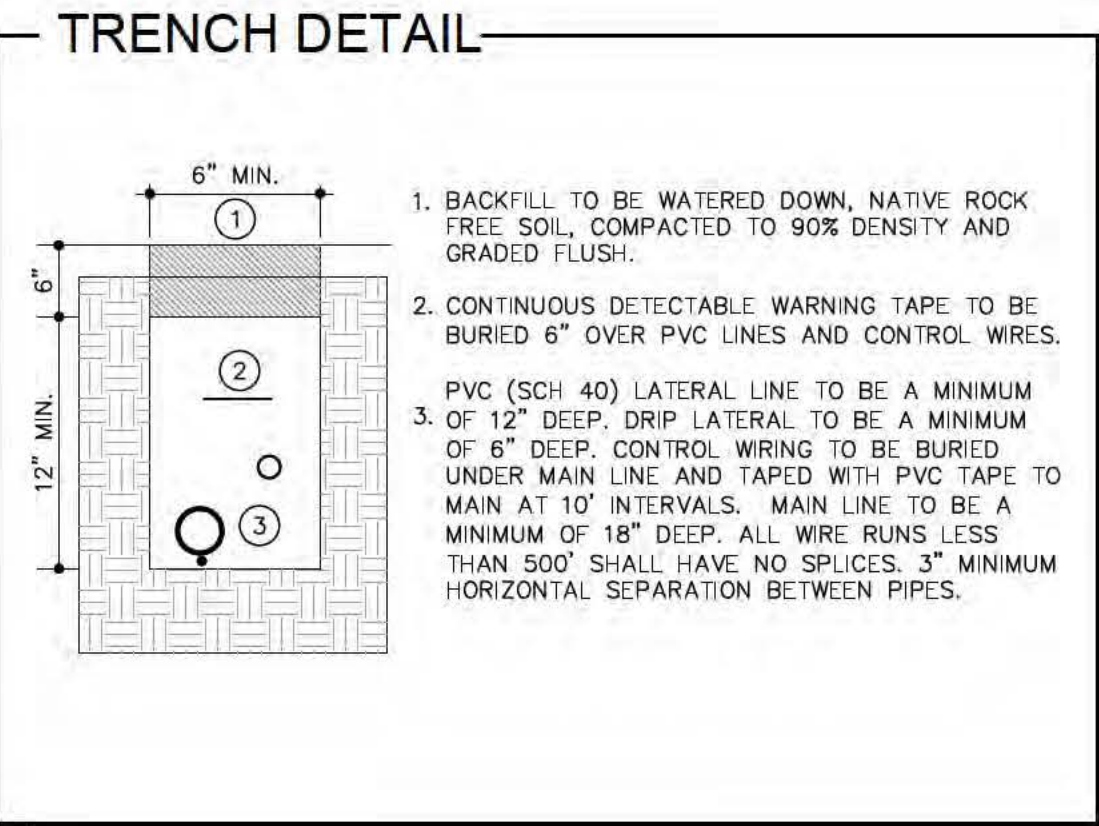
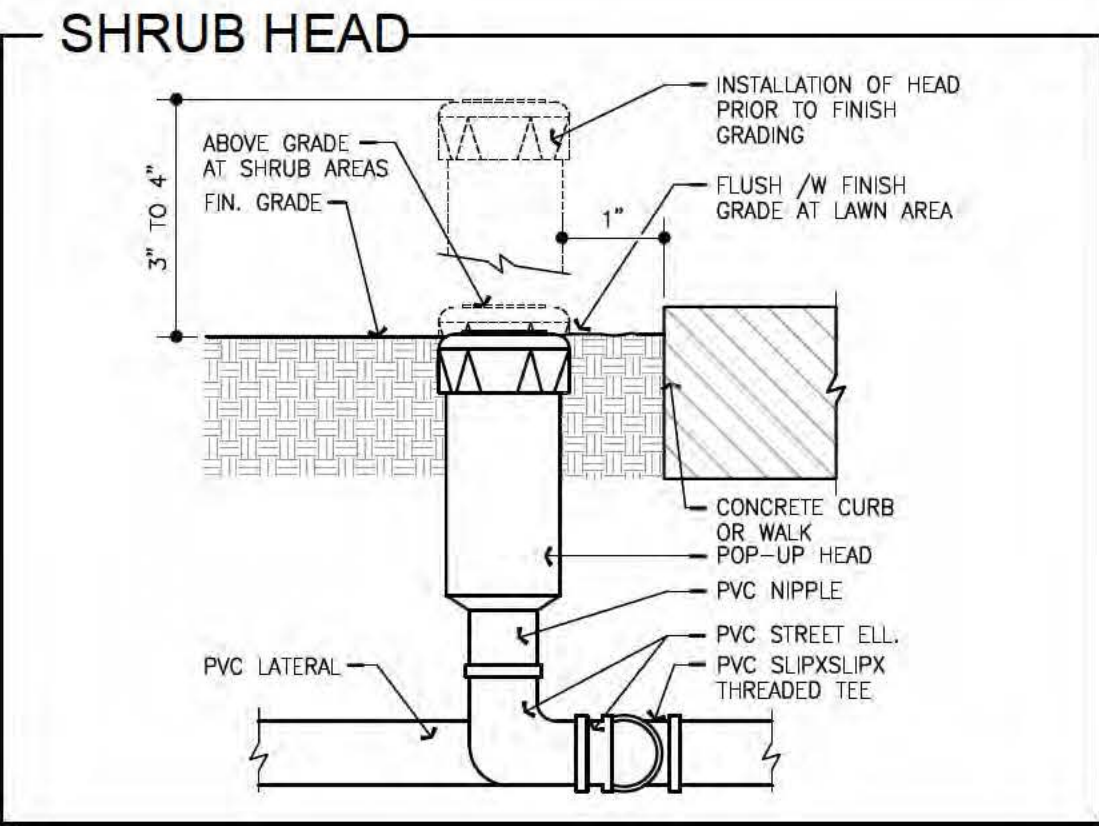
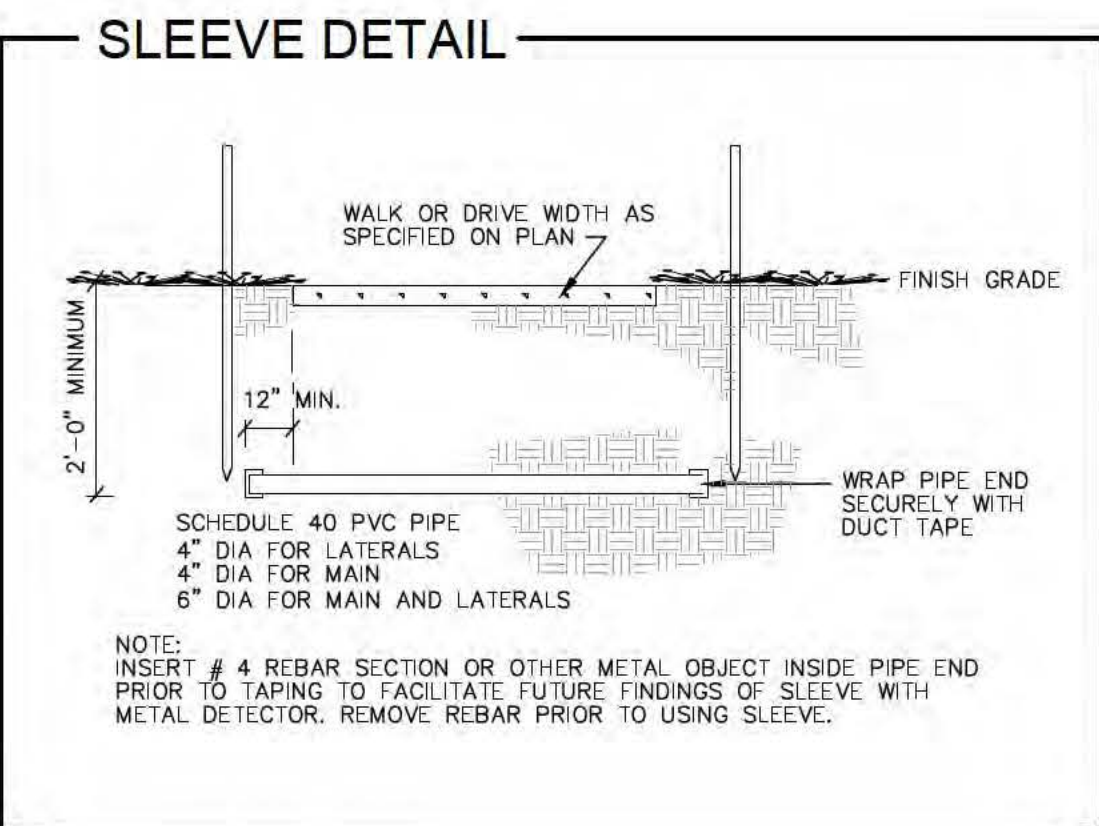


**LEGEND**

[Symbol] MICRO IRRIGATION HEADS - 1 HEAD PER SHRUB

[Symbol] SPRAY IRRIGATION HEADS W/ 100% COVERAGE

- IRRIGATION NOTES**
1. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE ARCHITECT. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT OF CONNECTION SHALL BE AS INDICATED ON THE PLANS.
  2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
  3. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED IN THESE PLANS.
  4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY REVISIONS HAVE BEEN DETERMINED BY THE ARCHITECT.
  5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO COST TO THE OWNER.
  6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SPRINKLER MATERIALS, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS OR OTHER PLANTS.
  8. IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE IRRIGATION SYSTEM INSTALLED AND READY FOR USE WITHOUT FURTHER COST TO THE OWNER.
  9. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE AND IN LOCKABLE VALVE BOXES.
  10. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
  11. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
  12. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL SUNSHINE AT 1-800-432-4770 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
  13. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
  14. INSTALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND COMMON TRENCHES WHERE POSSIBLE.
  15. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 2" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (1) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.
  16. SCHEDULE 40 PVC IS REQUIRED FOR ALL PRESSURE LINES AND UNDER ALL PAVED AREAS. PIPING MUST BE INSTALLED A MIN. OF 12" UNDERGROUND FOR NON PRESSURE IRRIGATION LINES AND 18" UNDERGROUND FOR CONSTANT PRESSURE IRRIGATION LINES.
  17. ALL IRRIGATION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE UNIFORM PLUMBING CODE.
- FLUSHING AND TESTING**
18. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
  19. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE AND TESTED.
  20. AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THIS TEST SHALL BE MADE AT MAXIMUM OPERATING PRESSURE FOR A PERIOD OF NOT LESS THAN (1) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING OVER PIPING.
  21. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE ARCHITECT THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
- SUBMITTALS**
22. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER, KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
  23. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.
- GUARANTEE/FINAL ACCEPTANCE**
24. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE. AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP.



100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV. DATE DESCRIPTION

ROLAND P. DOVE, P.E.  
FL REG. NO. 36933

DATE

**HPI Horne**  
**Storage, L.L.C.**  
1539 Alternate Highway 19  
Holiday, Florida

**SPRING ENGINEERING, INC.**  
ENGINEERING • LAND PLANNING • ARCHITECTURE  
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516  
FL COA NO. 00005158 & LICENSE NO. AA-C001747

**SE**

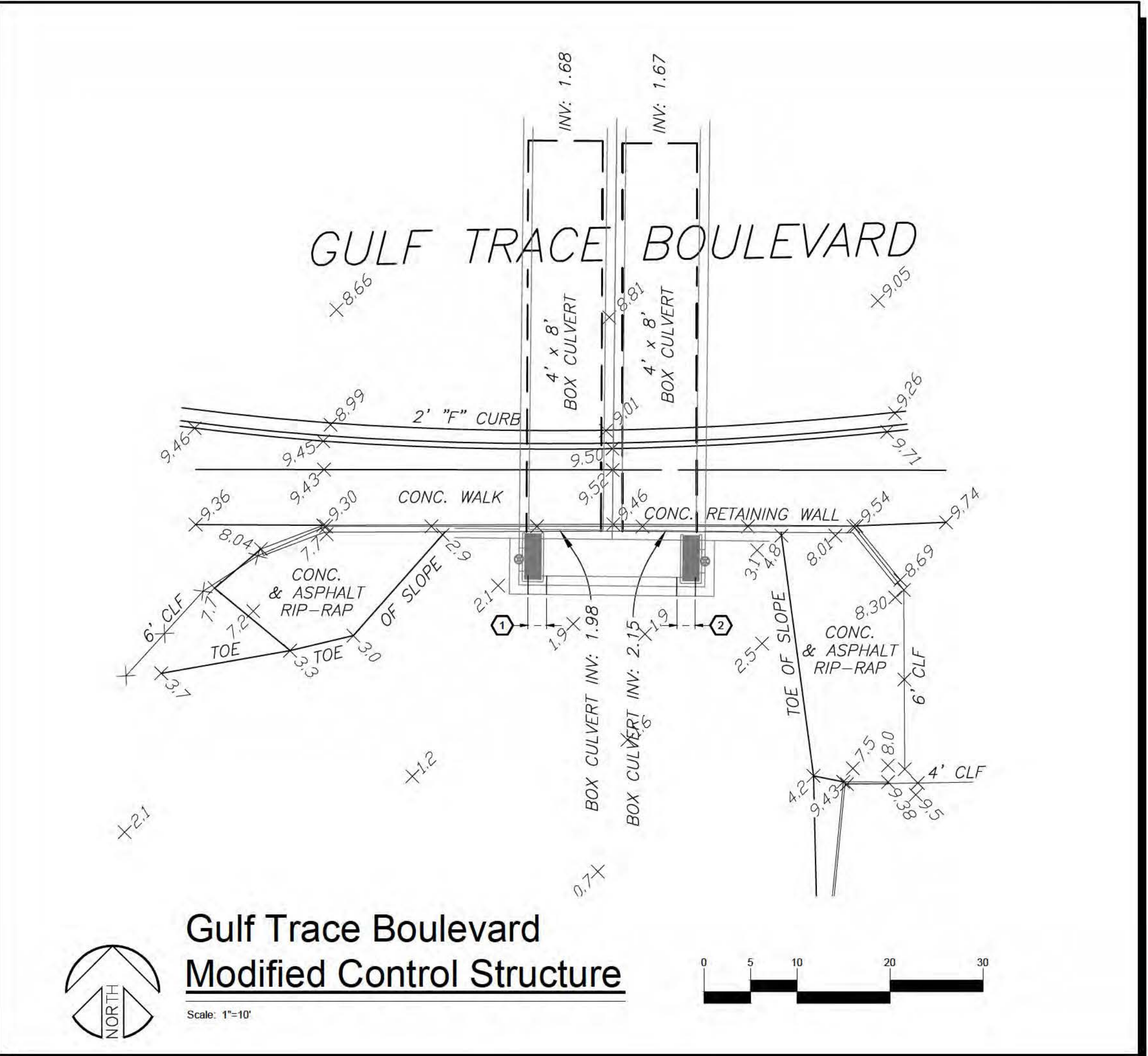
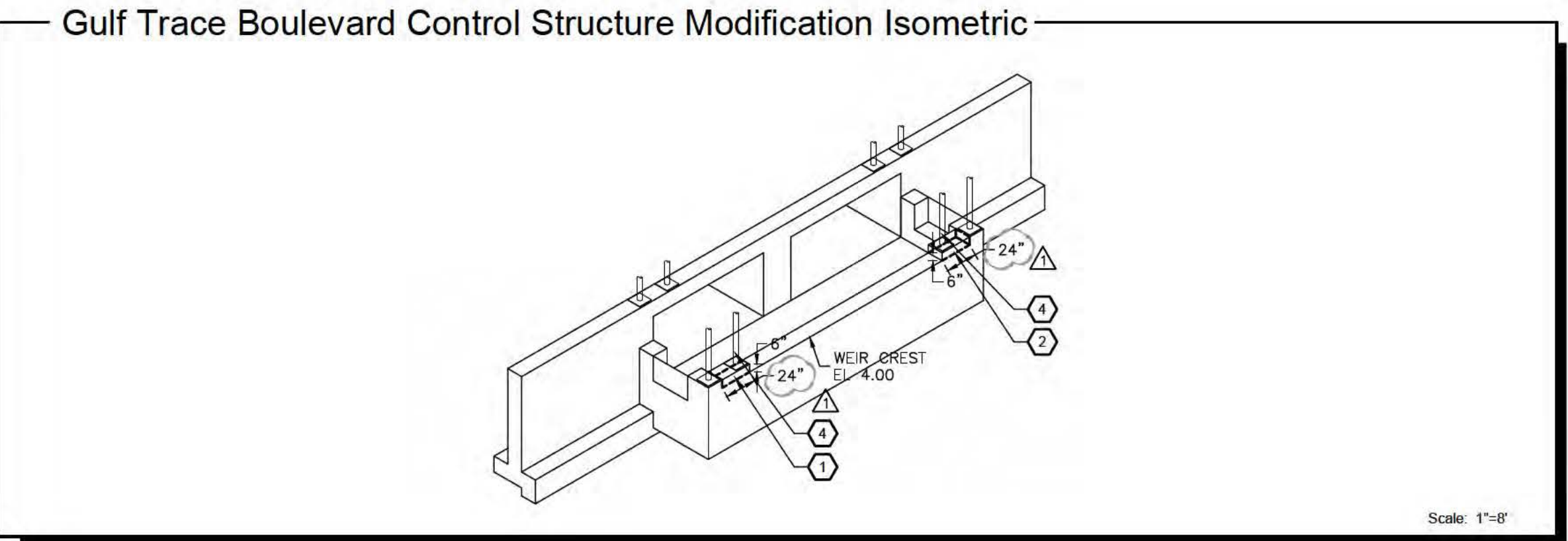
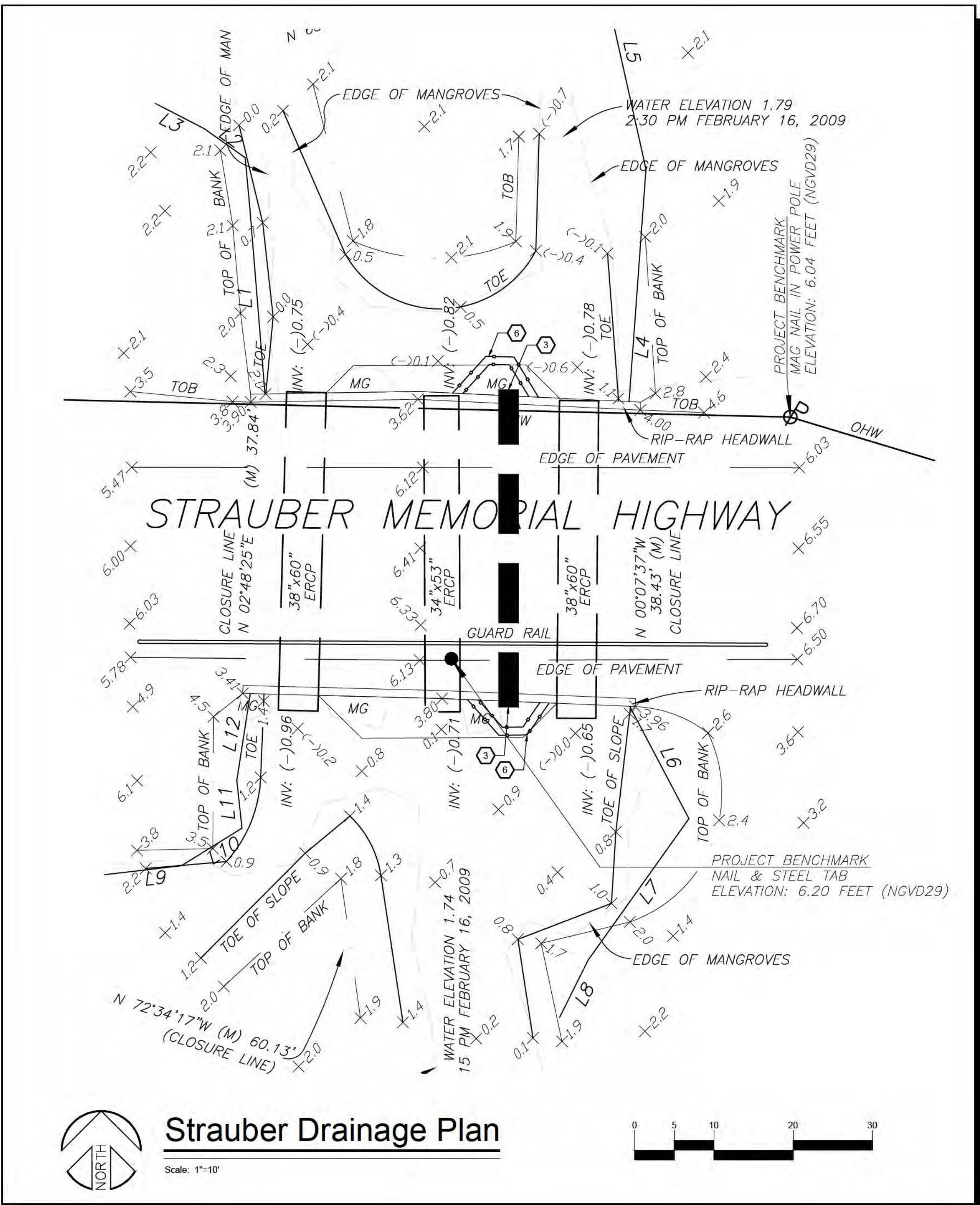
IRRIGATION PLAN

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10  
SHEET NO.  
**C6.0**



SECTIONS 26, TOWNSHIP 26 SOUTH, RANGE 15 EAST  
PASCO COUNTY, FLORIDA



- KEYNOTES**
1. SAW CUT 24" OFF EXISTING WEIR TO CREST EL. 4.00.
  2. SAW CUT 24" OFF EXISTING WEIR TO CREST EL. 4.00.
  3. SAW CUT EXISTING ASPHALT FULL DEPTH, CONSTRUCT 40 LF OF 30" RCP. PIPE TRENCH BACKFILL AND ASPHALT RESTORATION PER PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF UTILITIES STANDARD DETAIL G3. UPSTREAM IE: -0.5. DOWNSTREAM IE: -0.65. THE CONTRACTOR SHALL RESTORE THE UPSTREAM AND DOWNSTREAM END WALLS TO THE EXISTING CONDITION AND ENSURE THE CONNECTION BETWEEN THE PIPE AND RESTORED END WALL IS GROUTED WATER-TIGHT TO PREVENT A WASH OUT OF THE ROADWAY DURING LARGE STORM EVENTS POST CONSTRUCTION.
  4. EXTEND POLE AND PLATE TO NEW CREST ELEVATION BY USING A LARGER DIAMETER STAINLESS STEEL POLE INSERTED OVER THE EXISTING POLE. COMPLETELY WELD, DO NOT SPOT WELD THE EXTENSION TO THE EXISTING POLE AND NEW STAINLESS STEEL PLATE AT THE BASE. EPOXY ALL WELDS AND SURROUNDING METAL THAT HAVE HAD ANY CORROSION PROTECTION BURNED OFF BY THE WELDING TO PREVENT FUTURE CORROSION.
  5. NOT USED.
  6. DOUBLE ROW OF TURBIDITY BARRIER PER FOOT SPECIFICATIONS.

100%  
CONSTRUCTION PLANS  
ISSUE DATE: 08/20/18

REV	DATE	DESCRIPTION
1	12/14/18	GENERAL REVISIONS

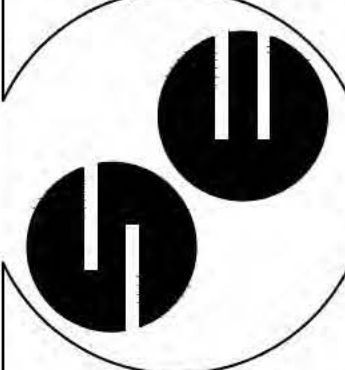
ROLAND P. DOVE, P.E.  
FL REG. NO. 38833

**HPI Horne**  
**Storage, L.L.C.**  
1539 Alternate Highway 19  
Holiday, Florida



CONTRACT DATE:  
APRIL 29, 2018

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OFFSITE  
CONSTRUCTION

DESIGNED BY: NDL  
DRAWN BY: NDL  
CHECKED BY: RPD  
JOB NO.

2018-10

SHEET NO.  
**C8.0**

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