



REPLY TO
ATTENTION OF

Regulatory Division
West Branch
Tampa Permits Section

DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
10117 PRINCESS PALM AVENUE, SUITE 120
TAMPA, FLORIDA 36610

April 16, 2019

PUBLIC NOTICE

Permit Application No. SAJ-2018-03380 (SP-LEO)

TO WHOM IT MAY CONCERN: The Jacksonville District of the U.S. Army Corps of Engineers (Corps) has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 U.S.C. §1344) as described below:

APPLICANT: Forest Hills Development Company, LLC
Attn: Ronald Gentzler
1717 Woodstead Ct., Suite 2017
The Woodland, TX 77380

WATERWAY AND LOCATION: The project would affect waters of the United States associated with Davenport Creek. The project site is located south of Osceola Polk Line road (CR 532) and west of Lake Wilson Road, Davenport in Section 03, Township 26 South, Range 27 East, Polk County, Florida

Directions to the site are as follows: Travel north from the intersection of Ronald Reagan Pkwy and Lake Wilson Rd on Lake Wilson Rd. Take a left turn and travel west on Osceola Polk Line Rd. Property is on the left, south of the road.

APPROXIMATE CENTRAL COORDINATES: Latitude 28.258013°
Longitude -81.596956°

PROJECT PURPOSE:

Basic: Mixed-use residential and commercial development.

Overall: To construct apartments, townhomes, retail, and commercial facilities south of Osceola Polk Line Road near the Champions Gate development in Polk County, FL.

EXISTING CONDITIONS: The 40-acre project site was historically used for citrus production. Currently the site is vacant and primarily composed of open land, shrub and brushland, upland hardwood forests, and wetland hardwood forests. There are two wetlands on the site, a 4.12 ac palustrine forested wetland system located in the western portion of the property and a 0.89 ac palustrine emergent wetland located in the south-central portion of the site. Dominant plant species in the forested wetland includes loblolly bay (*Gordonia lasianthus*), sweetbay (*Magnolia virginiana*) and swamp tupelo (*Nyssa biflora*), wax myrtle (*Morella cerifera*), dahoon holly (*Ilex cassine*),

cinnamon fern (*Osmunda cinnamomea*), royal fern (*Osmunda regalis*), swamp fern (*Blechnum serrulatum*) and lizard's tail (*Saururus cernuus*). Dominant plant species in the emergent wetland includes elderberries and blackberries (*Sambucus spp. and Rubus spp.*) around the edges and Peruvian primrose willow (*Ludwigia peruviana*) and Carolina willow (*Salix caroliniana*) in the center.

PROPOSED WORK: The applicant seeks authorization to discharge fill material into 0.89 acres of emergent wetlands to construct a 40-acre mixed-use residential and commercial development.

AVOIDANCE AND MINIMIZATION INFORMATION: The applicant has provided the following information in support of efforts to avoid and/or minimize impacts to the aquatic environment:

"The preservation of natural resources was a significant concern in planning development. Impacts to the highest quality forested wetland onsite were avoided entirely."

COMPENSATORY MITIGATION: The applicant has offered the following compensatory mitigation plan to offset unavoidable functional loss to the aquatic environment:

"Wetland impacts will be offset through the purchase of 0.45 palustrine credits from the Reedy Creek Mitigation Bank."

CULTURAL RESOURCES: The Corps is not aware of any known historic properties within the permit area. By copy of this public notice, the Corps is providing information for review. Our final determination relative to historic resource impacts is subject to review by and coordination with the State Historic Preservation Officer and those federally recognized tribes with concerns in Florida and the Permit Area.

ENDANGERED SPECIES: The Corps has determined that the proposed project would have no effect on the Audubon's Crested Caracara (*Polyborus plancus audubonii*), the Everglades snail kite (*Rostrhamus sociabilis plumbeus*), the Florida grasshopper sparrow (*Ammodramus savannarum floridanus*), the Florida scrub jay (*Aphelocoma coerulescens*), and the Red cockaded woodpecker (*Picoides borealis*). Although the project site is within the Consultation Area (CA) for these species, the action area does not include suitable habitat for these species. Therefore, potential project impacts to these species and their habitat would be discountable.

The Corps has determined that the proposed project would have no effect on the Sand skink (*Neoseps reynolds*) and Bluetail mole skink (*Eumeces egregious lividus*). Since the project site is within the CA for these species, underlain by "skink soils," and is at a topographic elevation of 82' or higher, a pedestrian and cover board skink survey was conducted. Results of the March 2015 survey showed no evidence of skink activity at

the project site. Therefore, potential project impacts to these species and their habitat will be negligible.

The Corps has determined the proposed project may affect, but is not likely to adversely affect (MANLAA) the Wood Stork (*Mycteria Americana*). Use of the 2010 Wood Stork Effect Determination Key yielded the following progression: A>B MANLAA. Project site is 15 miles of a colony site and contains suitable foraging habitat (SFH) for the species. Proposed project activities would impact less than 0.5 ac of SFH.

The Corps has determined the proposed project may affect, but is not likely to adversely affect (MANLAA) the Eastern indigo snake (*Drymarchon corais couperi*). Use of the 2017 Eastern Indigo Snake Key yielded the following progression: A>B>C>D>E MANLAA. Permit will be conditioned for use of the Service's most current guidance for Standard Protection Measures for the Eastern Indigo Snake, project will impact less than 25 ac of habitat. A review of the project specific data indicated that the project site has known holes, cavities, and active or inactive gopher tortoise burrows. Any permit will be conditioned such that all gopher tortoise burrows, will be excavated prior to site manipulation in the vicinity of the burrow. If an eastern indigo snake is encountered, the snake will be allowed to vacate the area prior to additional site manipulation in the vicinity. Additionally, the permit will be conditioned such that holes, cavities, and snake refugia other than gopher tortoise burrows will be inspected each morning before planned site manipulation.

ESSENTIAL FISH HABITAT (EFH): This notice initiates consultation with the National Marine Fisheries Service on EFH as required by the Magnuson-Stevens Fishery Conservation and Management Act 1996. Our initial determination is that the proposed action would have no effect on EFH or Federally managed fisheries. Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

NOTE: This public notice is being issued based on information furnished by the applicant. This information has not been verified or evaluated to ensure compliance with laws and regulation governing the regulatory program. The jurisdictional line has not been verified by Corps personnel.

AUTHORIZATION FROM OTHER AGENCIES: Water Quality Certification may be required from the Florida Department of Environmental Protection and/or one of the state Water Management Districts.

COMMENTS regarding the potential authorization of the work proposed should be submitted in writing to the attention of the District Engineer through the Tampa Permits Section, 10117 Princess Palm Avenue, Suite 120, Tampa, Florida 33610 within 30 days from the date of this notice.

The decision whether to issue or deny this permit application will be based on the information received from this public notice and the evaluation of the probable impact to

the associated wetlands. This is based on an analysis of the applicant's avoidance and minimization efforts for the project, as well as the compensatory mitigation proposed.

QUESTIONS concerning this application should be directed to the project manager, Leanne Obra, in writing at the Tampa Permits Section, 10117 Princess Palm Avenue, Suite 120, Tampa, Florida 33610; by electronic mail at Leanne.e.Obra@usace.army.mil; by facsimile transmission at (813)769-7061; or, by telephone at (813)769-7071.

IMPACT ON NATURAL RESOURCES: Coordination with U.S. Fish and Wildlife Service, Environmental Protection Agency (EPA), the National Marine Fisheries Services, and other Federal, State, and local agencies, environmental groups, and concerned citizens generally yields pertinent environmental information that is instrumental in determining the impact the proposed action will have on the natural resources of the area.

EVALUATION: The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits, which reasonably may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including cumulative impacts thereof; among these are conservation, economics, esthetics, general environmental concerns, wetlands, historical properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food, and fiber production, mineral needs, considerations of property ownership, and in general, the needs and welfare of the people. Evaluation of the impact of the activity on the public interest will also include application of the guidelines promulgated by the Administrator, EPA, under authority of Section 404(b) of the Clean Water Act or the criteria established under authority of Section 102(a) of the Marine Protection Research and Sanctuaries Act of 1972. A permit will be granted unless its issuance is found to be contrary to the public interest.

The US Army Corps of Engineers (Corps) is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other Interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps to determine whether to issue, modify, condition, or deny a permit for this proposal. To make this determination, comments are used to assess impacts to endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

COASTAL ZONE MANAGEMENT CONSISTENCY: In Florida, the State approval constitutes compliance with the approved Coastal Zone Management Plan. In Puerto Rico, a Coastal Zone Management Consistency Concurrence is required from the Puerto Rico Planning Board. In the Virgin Islands, the Department of Planning and

Natural Resources permit constitutes compliance with the Coastal Zone Management Plan.

REQUEST FOR PUBLIC HEARING: Any person may request a public hearing. The request must be submitted in writing to the District Engineer within the designated comment period of the notice and must state the specific reasons for requesting the public hearing.

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C700 *	UTILITY PLAN
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C904 *	WATER AND SEWER DETAILS A
C905 *	WATER AND SEWER DETAILS B
C906 *	WATER AND SEWER DETAILS C

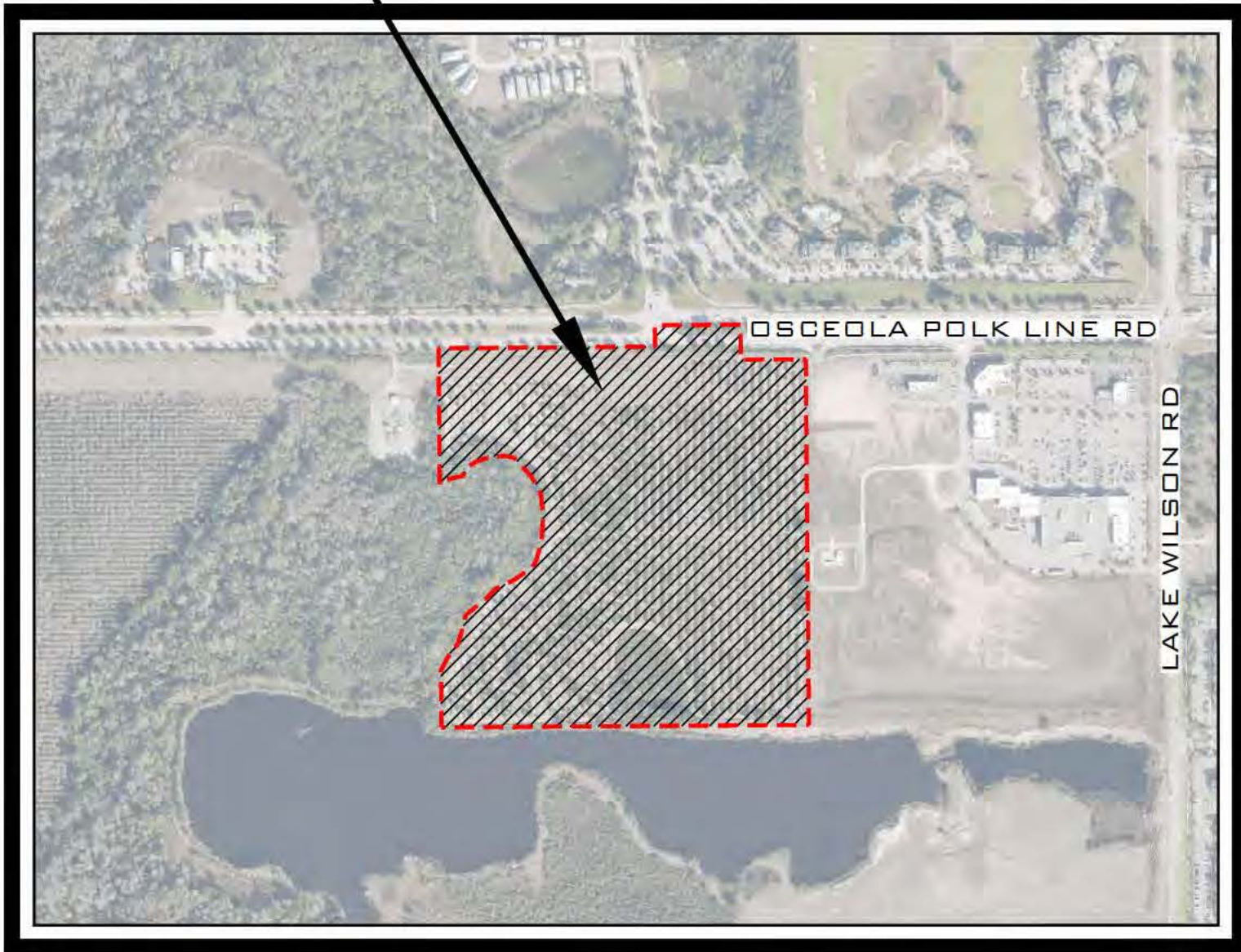
* NOT INCLUDED IN THIS SET.

CONSTRUCTION PLANS

FOR

FOREST HILLS

PROJECT LOCATION



VICINITY MAP

SECTION 03, TOWNSHIP 26 S, RANGE 27 E

Prepared By:



CREATING • IMPLEMENTING • SOLVING

SHOP DRAWINGS TO BE SUBMITTED TO:

Matthew K. Johnson, P.E.
JSK Consulting
5904 Hillside Heights Drive
Lakeland, FL 33812

CLIENT:

Ian McCook/ Elliot Simmonds
Forest Hills Development Company, LLC
PO Box 3476
Winter Park, FL 32790
(407) 872-1900

OWNER:

Ian McCook/ Elliot Simmonds
Forest Hills Development Company, LLC
PO Box 3476
Winter Park, FL 32790
(407) 872-1900

UTILITIES:

City of Lakeland Water/Wastewater Polk County Utilities S.W. Region Verizon Florida Inc.
501 E. Lemon St. 1011 Jim Keene Blvd SR 540 1909 US Hwy 301 N
Lakeland, FL 33801 Winter Haven, FL 33880 Tampa, FL 33619
(863) 834-6172 (863) 298-4174 (813) 627-8343

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MATTHEW K. JOHNSON, P.E. USING A SHA-1 AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NOTES:

- ALL INDEX REFERENCES IN THIS SET OF PLANS REFER TO FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" LATEST EDITION, UNLESS OTHERWISE STATED.
- GOVERNING SPECIFICATIONS STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND SUPPLEMENTS THERETO IF NOTED FOR THIS PROJECT.
- ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.
- UNDERGROUND UTILITIES: THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAVE BEEN OBTAINED BY FIELD SURVEYS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THIS DATA IS ESSENTIALLY CORRECT. HOWEVER, THESE PLANS DO NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR WILL BE REQUIRED TO VERIFY THE EXACT LOCATION OF EACH FACILITY WITH THE UTILITY COMPANY WHEN THE POTENTIAL EXISTS FOR INVOLVEMENT AND SHALL TAKE DUE CARE IN ALL PHASES OF THE CONSTRUCTION TO PROTECT ANY SUCH FACILITIES WHICH MAY BE AFFECTED BY THE WORK. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EFFECTIVE DECEMBER 1, 1993 THERE IS A STATEWIDE CALL 1-(800)-432-4770 48 HOURS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY CONFLICTS OCCUR SO THAT DESIGN MAY BE ADJUSTED.
- CONSTRUCTION MATERIALS QUALITY AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE OSCEOLA COUNTY, POLK COUNTY AND FDOT SPECIFICATIONS AND STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- NO CLEARING OF THIS SITE SHALL TAKE PLACE UNTIL FINAL APPROVAL OF THE SITE PLAN.
- CONTRACTOR MUST SUBMIT & RECEIVE A ROW USE PERMIT PRIOR TO ALL WORK WITHIN ROW IF REQUIRED.



Benchmark: NAVD 1988
NORTH AMERICAN VERTICAL DATUM OF 1988

LEGAL DESCRIPTION: (BY OTHERS)

THE NORTHWEST 1/4 OF NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 26 SOUTH, RANGE 27 EAST, POLK COUNTY, FLORIDA, LESS ROAD RIGHT-OF-WAY.

DESIGNED BY:	JH	DATE	Jan 25, 2019
DRAFTED BY:	AH	JOB NO.	1312.02
CHECKED BY:	MJ	DESCRIPTION	
NO.	DATE		
1			
2			
3			
4			

Engineers, Land Planners
Construction Managers

JSK CONSULTING
CREATING • IMPLEMENTING • SOLVING

5904 Hillside Heights Drive
Lakeland, Florida 33812
Phone (863) 619-6131
Fax (863) 619-6103
Certificate of Authorization No. 26952
www.jsk-consulting.com

FOREST HILLS

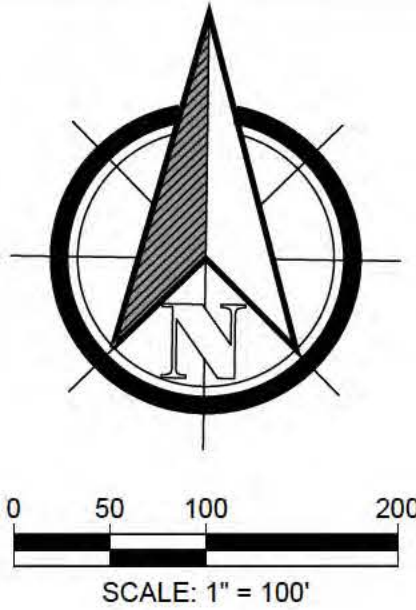
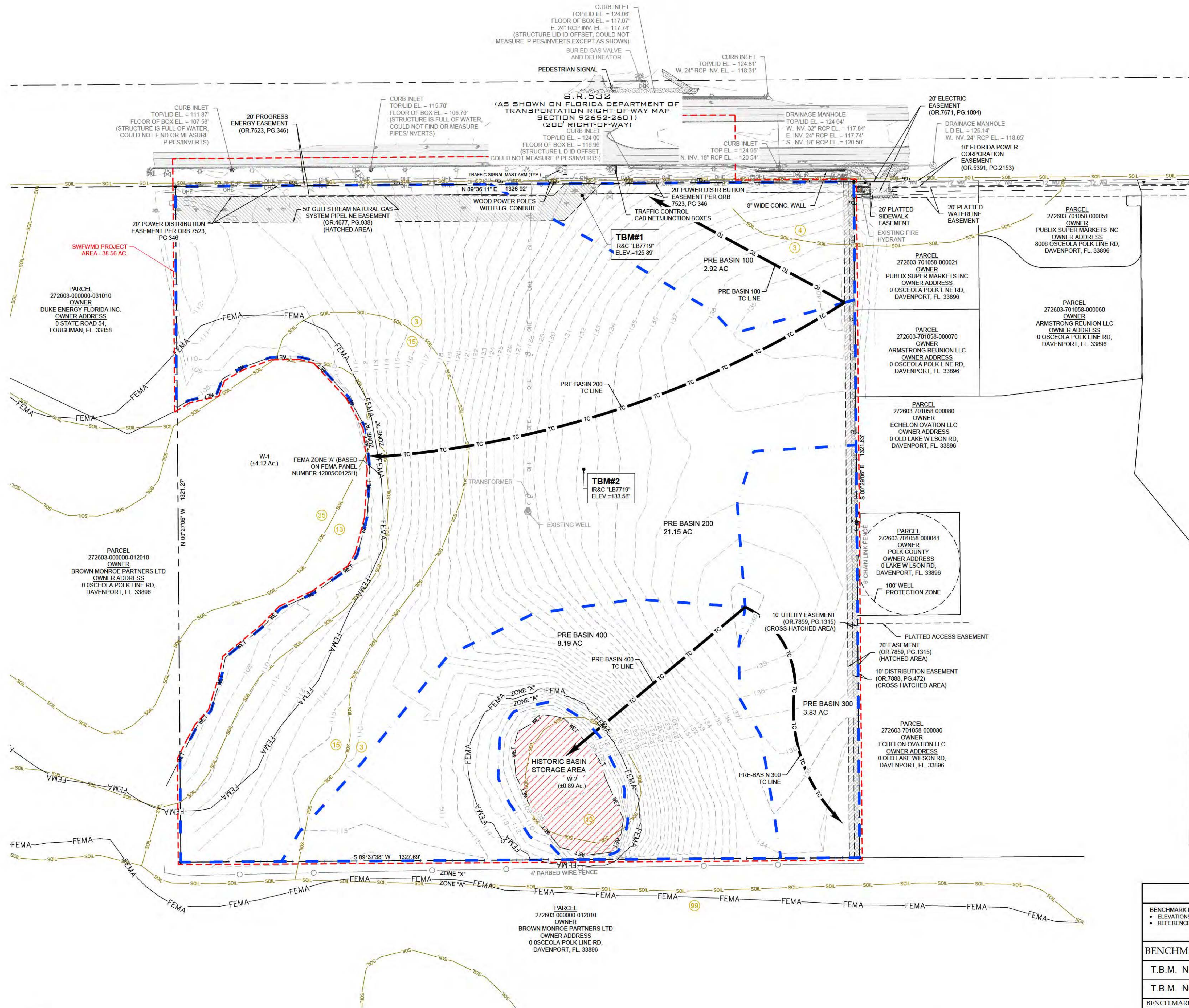
FOREST HILLS DEVELOPMENT COMPANY, LLC

COVER

OSCEOLA POLK LINE RD, DAVENPORT, FL 33896

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MATTHEW K. JOHNSON FLA. P.E. No. 60129	
DATE	

SHEET NUMBER
C090



SOIL #	TYPE	CLASS
3	CANDLER	A
4	CANDLER	A
13	SAMSULA	A/D
15	TAVARES	A
35	HONTOON	A/D
99	WATER	N/A

BENCHMARK TABLE		
BENCHMARK NOTES: <ul style="list-style-type: none">ELEVATIONS ARE (N.A.D. 1988)REFERENCE BENCHMARK: UG28 (P.D. D16145) - Elevation 147.00.		
BENCHMARK	ELEVATION	LOCATION
T.B.M. No.1	125.89	N: 1427220.7770 E: 786093.4220
T.B.M. No.2	133.56	N: 1426685.7040 E: 786096.5650
BENCH MARK AND EXISTING CONDITIONS SURVEY INFORMATION PROVIDED BY: ROBERT A. STEVENS & ASSOCIATES, INC. 210 LENA VISTA BLVD. AUBURNDALE, FL PHONE: (863) 556-1216 FAX: (863) 286-9178		

Existing on site wells:

Any wells found to be properly abandoned by a Florida licensed water well contractor in accordance with Rule 400-3.531(2), F.A.C.

DESIGNED BY:	JH	DATE	Jan 25, 2019
DRAFTED BY:	AH	JOB NO.	1312.02
CHECKED BY:	MJ	DESCRIPTION	
NO.	1	DATE	
	2		
	3		
	4		

Engineers, Land Planners
Construction Managers

5904 Hillside Heights Drive
Lake Wales, FL 33853
Phone: (863) 619-6131
Fax: (863) 619-6103
Certificate of Authorization No. 26952
www.jfk-consulting.com

JFK
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FOREST HILLS
FOREST HILLS DEVELOPMENT COMPANY, LLC
EXISTING CONDITIONS
OSCEOLA POLK LINE RD, DAVENPORT, FL 33896

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY MATTHEW K.
JOHNSON, P.E.

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DEVICE.

MATTHEW K. JOHNSON
FLA. P.E. No. 60129

DATE

SHEET NUMBER
C200



SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT EROSION, SEDIMENT, AND TURBIDITY CONTROL NOTE:

INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES IS THE RESPONSIBILITY OF THE SITE CONTRACTOR. OWNER REQUIRES INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN PRIOR TO INITIATING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN AND ADJUST EROSION AND SEDIMENT CONTROL MEASURES DURING THE CONSTRUCTION PHASE.

DRAINAGE FACILITIES OPERATIONS & MAINTENANCE

POND SIDE SLOPES AND OTHER BANKED SLOPES SHALL BE MAINTAINED IN SUCH A WAY TO PREVENT WASH AND EROSION.

ALL SILT AND OTHER MATERIALS THAT ACCUMULATE IN THE POND BOTTOM, UNDERDRAINS, EXFILTRATION BEDS, SWALES, DITCHES, PIPES, ETC. SHALL BE REMOVED REGULARLY TO MAINTAIN THE INTENDED FUNCTIONALITY OF THE STORMWATER MANAGEMENT FACILITIES.

ALL RETENTION AREAS AND ADJACENT AREAS SHALL BE MOVED AND KEPT CLEAN OF ALL TRASH AND DEBRIS. ALL GRASS CUTTINGS, TRIMMINGS, AND OTHER ORGANIC SEDIMENT SHALL BE RAKED AND REMOVED.

RETENTION AREA BOTTOMS AND SIDE SLOPES ARE TO BE CLEANED AND RE-GRADED BY THE OWNER AS REQUIRED TO MAINTAIN THE EFFECTIVE DEPTH AND VOLUME AND RATE OF PERCOLATION. ALL SIDE SLOPES OF 4:1 (H TO V) OR STEEPER SHALL BE SOODED WITH ARGENTINE BAHIA.

NPDES CONSTRUCTION PERMIT

- IF THE PROJECT AREA IS GREATER THAN 1 ACRE, THE CONTRACTOR IS REQUIRED TO OBTAIN AN NPDES CONSTRUCTION PERMIT THROUGH THE FDEP.
- THE CONTRACTOR SHALL PRODUCE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE NPDES PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL UPDATE THE SWPPP AS NECESSARY IF WARRANTED BY A CHANGE IN THE SITE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN COMPLIANCE WITH THESE CONSTRUCTION PLANS, THE SWPPP, AND NPDES PERMIT. ANY ACTIONS REQUIRED TO MAINTAIN COMPLIANCE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL INSURE THAT ALL REQUIRED INSPECTION, DOCUMENTATION, AND ANY NECESSARY REPAIRS ARE PERFORMED AS REQUIRED BY THE NPDES PERMIT, SWPPP, OR AS STATED HEREIN THE CONSTRUCTION PLANS.
- THE GENERAL CONTRACTOR SHALL POST AND MAINTAIN ALL DOCUMENTATION REQUIRED BY THE NPDES PERMIT AND THE SWPPP AND MAKE AVAILABLE SUCH DOCUMENTATION TO PERMITTING AGENCY OR OWNER RESPONSIBLE UPON REQUEST.

SEQUENCE OF MAJOR ACTIVITIES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES CONSTRUCTION STORMWATER PERMIT THROUGH THE FDEP AND SHALL SUBMIT THE NOTICE OF INTENT (NOI) AT LEAST 7 DAYS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE ACTIVITIES.
- INSTALLATION OF SILT FENCE, EXISTING INLET PROTECTION (IF REQUIRED) AND ALL OTHER MEASURES INCLUDING BUT NOT LIMITED TO TEMPORARY SEDIMENT BASINS, DITCH PROTECTION, DIVERSION BERMS, ETC. REQUIRED BY THESE CONSTRUCTION PLANS AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- ROUGH GRADE THE STORMWATER RETENTION/STORAGE PONDS AS WELL AS TEMPORARY SWALES TO FORCE DELIVERY OF ON-SITE RUNOFF TO THE POND(S). THE POND(S) WILL ACT AS SEDIMENTATION BASIN(S).
- STABILIZE CLEARED AREAS WITHIN 7 DAYS OF LAST DISTURBANCE IF RUNOFF IS NOT CAPTURED BY STORMWATER POND(S).
- INSTALL STORM SEWER CONVEYANCE SYSTEMS, UTILITIES, AND BUILDINGS.
- COMPLETE GRADING AND CONSTRUCT ENTRANCES AND PAVEMENT.
- INSTALL PERMANENT SODDING (PIN AS REQUIRED IN SLOPED AREAS), SEED & MULCH AS REQUIRED, OR OTHER PERMANENT STABILIZATION FEATURES.
- REMOVE INSTALLED SILT BARRIERS AFTER ALL DISTURBED AREAS ARE STABILIZED.

STABILIZATION MEASURES

TEMPORARY STABILIZATION - SOIL STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED FOR AT LEAST 14 DAYS SHALL BE STABILIZED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. THESE AREAS SHALL BE STABILIZED WITH SEED OR MULCH. THE SURFACE AREA OF UNPROTECTED ERODIBLE MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATING, OR FILLING OPERATION SHALL BE KEPT TO A MINIMUM AS POSSIBLE.

PERMANENT STABILIZATION - AREAS WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED SHALL BE STABILIZED BY SEED, MULCH, OR OTHER PERMANENT MEASURES.

OFFSITE VEHICLE TRACKING

MONITORING OF OFFSITE TRACKING OF SEDIMENTS AT THE ENTRANCES IS ESSENTIAL WHERE SILT FENCE WILL NOT BE PLACED TO ENABLE ACCESS TO THE SITE. IF IT APPEARS THAT SIGNIFICANT AMOUNTS OF SEDIMENT ARE BEING TRACKED OFF THE SITE, GRAVEL ENTRANCES OR OTHER EQUIVALENT MEASURES ARE RECOMMENDED TO HELP DISCLODE THE SOIL, SEDIMENT, AND DIRT BEFORE THE VEHICLES LEAVE THE SITE.

EROSION & SEDIMENT CONTROL NOTES

ALL PRACTICABLE AND NECESSARY EFFORTS WILL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND RETENTION OF SEDIMENT TO SURFACE DRAINS, SURFACE WATERS, OR ON TO ADJOINING PROPERTIES.

ALL SITE GRADING SHALL DIRECT ON-SITE STORMWATER RUNOFF TO THE DETENTION AND/OR RETENTION AREAS. THE DOWN STREAM TURBIDITY SCREENING WILL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT CONSTRUCTION.

REVEGETATION AND STABILIZATION OF DISTURBED SURFACES WILL BE ACCOMPLISHED AS RAPIDLY AS POSSIBLE TO PREVENT EROSION FROM OCCURRING AND REDUCE THE SEDIMENT LOAD INTO THE DISCHARGE WATERS OF THE STATE OR USA. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE GRASSED AND MULCHED, OR SOODED.

ALL AREAS SUBJECT TO EROSION SHALL BE REGRADED AND PROPERLY MAINTAINED WITH PROTECTIVE MEASURES SUCH AS VEGETATION, TURFING, MULCH, HAY BALES, STABILIZING, FIBROUS MATERIALS RIPRAP, ETC. TO CONTROL EROSION WITH A MINIMUM MAINTENANCE AND TO REDUCE DUST CONDITIONS. THE CONTRACTOR SHALL MAKE PROVISIONS TO MINIMIZE AEROSOL DEBRIS AND DUST FROM LEAVING THE CONSTRUCTION SITE. DUST SHALL BE CONTROLLED WITH THE USE OF WATER, IF NECESSARY.

SILT FENCE OR HAY BALES WILL BE INSTALLED AROUND THE CONSTRUCTION SITE PERIMETER TO PREVENT SILTATION OF ADJACENT PROPERTIES AND ANY SUCH MATERIALS SHALL BE REMOVED FROM OFF-SITE. THE SILT FENCE AND/OR HAY BALES WILL REMAIN IN PLACE UNTIL ALL EXPOSED SURFACES ARE STABILIZED. ANY SEDIMENT DEPOSITS OR SOIL DISTURBANCE CREATED DURING THE INSTALLATION AND REMOVAL OF SILT FENCE SHALL BE DRESSED TO CONFORM TO THE FINISHED GRADE.

THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE WHILE SANDY MATERIAL MAY ONLY NEED SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHOULD BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES, AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.

DEWATERING, ALTHOUGH NOT ANTICIPATED, MAY BE REQUIRED FOR INSTALLATION OF THE SANITARY OR STORM SEWER. THE DURATION IS DEPENDENT ON THE SCHEDULE OF CONSTRUCTION. THE DEWATERING DISCHARGE WILL BE CONTAINED WITHIN A SETTLING AREA INSIDE THE NEAREST STORMWATER POND. THE SETTLING AREAS WILL BE SURROUNDED WITH TURBIDITY BARRIERS AND HAYBALES. AFTER DEWATERING WORK HAS BEEN COMPLETED, THE SETTLING AREAS WILL BE EXCAVATED AND/OR RESHAPED TO FINISH THE POND(S). DEWATERING STRUCTURES SHALL REMAIN IN PLACE UNTIL TRENCHING HAS BEEN COMPLETED. ALL DISCHARGE SHALL BE CONTAINED WITHIN THE PROJECT AREA AS DESCRIBED. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN WATER FROM DEWATERING OPERATIONS ON-SITE. NO WATER FROM DEWATERING OPERATIONS SHALL BE PUMPED DIRECTLY OFF-SITE.

THE CONTRACTOR SHALL PROVIDE SILTATION REDUCTION DEVICES FOR THE DISCHARGE FROM THE DEWATERING PROCESS SO THAT DIRECT DISCHARGE DOES NOT OCCUR.

NO CLAY MATERIAL SHALL BE LEFT EXPOSED IN THE EXCAVATION. IF CLAY OR SANDY CLAYS ARE LEFT EXPOSED AT THE PERMITTED DEPTH, THE CONTRACTOR SHALL OVER EXCAVATE THE SWALES AND/OR POND BOTTOMS AND SIDE SLOPES BY A MINIMUM OF 12 INCHES AND BACKFILL WITH CLEAN SANDS.

ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN A DUMPSTER AND HAULED OFF-SITE TO A LANDFILL OR OTHER PROPER DISPOSAL SITE.

MAINTENANCE / INSPECTION PROCEDURES

ALL CONTROL MEASURES SHALL BE INSPECTED AT A MINIMUM EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT EXCEEDING 0.5 INCHES AND REPAIRED OR REPLACED AS NEEDED AT CONTRACTOR'S EXPENSE. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION AND WILL BE KEPT AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN FOR A PERIOD OF 3 YEARS FOLLOWING FINAL STABILIZATION OF THE SITE.

TEMPORARY SEEDING AND PERMANENT SODDING OR SEEDING/MULCHING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. ANY DEFICIENCIES SHALL BE CORRECTED.

A QUALIFIED PERSON MUST BE DESIGNATED BY THE CONTRACTOR, AND AGREED UPON BY OWNER, TO PERFORM THE INSPECTIONS AND BE RESPONSIBLE FOR CORRECTING DEFICIENCIES.

ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE PROJECT. ANY REQUIRED REPAIRS MUST OCCUR WITHIN 24 HOURS OF INSPECTION.

DRAINAGE STRUCTURES SHOULD BE INSPECTED FOR ACCUMULATION OF SEDIMENT. ANY ACCUMULATED SEDIMENT MUST BE REMOVED AT THE COMPLETION OF THE PROJECT. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SILT FENCE WHEN THEY REACH APPROXIMATELY ONE THIRD THE HEIGHT OF THE BARRIER.

THE CONTRACTOR SHALL MAKE PROVISIONS TO MINIMIZE TRACKING OF SOIL, MUD, AND OTHER DEBRIS ONTO THE PUBLIC RW AND/OR OFF-SITE. ANY MATERIAL TRACKED ONTO THE PUBLIC RW AND/OR OFF-SITE SHALL BE IMMEDIATELY REMOVED.

STORMWATER POLLUTION PREVENTION PLAN

A STORMWATER POLLUTION PREVENTION PLAN FOR THE PROPOSED SYSTEM AND RELATED ACTIVITIES SHALL BE IMPLEMENTED AS SHOWN ON THE PLANS TO PROVIDE REASONABLE ASSURANCE THAT THE PROJECT CONSTRUCTION ACTIVITIES WILL NOT RESULT IN EROSION AND SEDIMENT DEPOSITION IN WETLANDS OR OFF-SITE, ADVERSE IMPACTS TO WETLANDS, OFF-SITE FLOODING, OR VIOLATIONS OF STATE WATER QUALITY STANDARDS.

DISCHARGE CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OR ADJACENT PROPERTY. DETENTION/RETENTION STORAGE STRUCTURES, SEDIMENT BARRIERS, FLOW CONVEYANCES, REVEMENT, DISCHARGE CONTROL, STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHOULD BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT, TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.

THE OWNER/PERMITEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.

FOR NON-AGRICULTURAL SYSTEMS, THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DESIGNED AND IMPLEMENTED TO INCLUDE SITE SPECIFIC MEASURES ADAPTED FROM CONCEPTUAL PRACTICES AND GUIDELINES DESCRIBED IN THE FOLLOWING PUBLICATIONS. IN ADDITION, THE APPLICANT MAY PROPOSE EQUIVALENT PROTECTION MEASURES THAT MEET THE REQUIREMENTS OF RULES 400.4.301 AND 400.4.302, F.A.C.

- THE GUIDELINES SET FORTH IN CHAPTER 6, "THE FLORIDA DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT," (FDEP 1988).
- THE GUIDELINES SET FORTH IN "THE FLORIDA STORMWATER, EROSION, AND SEDIMENT CONTROL INSPECTOR'S MANUAL," (FDEP AND FDOT 1999).

FOR NON-AGRICULTURAL SYSTEMS WITH A PROJECT AREA OF 1 ACRE OR MORE, OR CONSTRUCTION ACTIVITIES THAT RESULT IN THE DISTURBANCE OF LESS THAN FIVE ACRES, BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE WITHIN A TOTAL LAND AREA, THE STORMWATER POLLUTION PREVENTION PLAN SHALL, IN ADDITION TO THE REQUIREMENTS OF SECTION 2.2(A) ABOVE, BE DESIGNED AND IMPLEMENTED TO FUNCTION IN ACCORDANCE WITH THE TECHNICAL STANDARDS, CONCEPTUAL PRACTICES AND GUIDELINES FOR A STORMWATER POLLUTION PREVENTION PLAN DESCRIBED IN PART V OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) DOCUMENT, "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB FIVE OR MORE ACRES OF LAND," (FDEP DOCUMENT NUMBER 69-021-300(KA), EFFECTIVE OCTOBER 22, 2000).

THE PERMITEE SHALL AMEND THE STORMWATER POLLUTION PREVENTION PLAN WHENEVER THE PROJECT IS ALTERED OR MODIFIED IN A MANNER THAT WILL RESULT IN: (1) THE POTENTIAL DISCHARGE OF POLLUTANTS, (2) A CHANGE IN THE AMOUNT OF DISCHARGE, (3) A CHANGE IN THE NUMBER OR LOCATION OF STORM WATER DISCHARGE POINTS, OR (4) ADVERSE IMPACTS TO WETLANDS, AND SUCH CHANGES HAVE NOT OTHERWISE BEEN PREVIOUSLY ADDRESSED IN THE APPROVED PLAN. THE PERMITEE SHALL ALSO AMEND THE PLAN IF ITS IMPLEMENTATION DOES NOT ELIMINATE OR MINIMIZE EROSION AND SEDIMENT DEPOSITION, OFF-SITE FLOODING, ADVERSE IMPACTS TO WETLANDS, OR VIOLATIONS OF STATE WATER QUALITY STANDARDS. AMENDMENTS TO THE PLAN SHALL BE PREPARED AND KEPT AS SEPARATE DOCUMENTS ALONG WITH THE ORIGINAL PLAN. ALL ALTERATIONS TO THE SYSTEM MUST BE SHOWN ON THE AMENDED PLAN ALONG WITH THE DOCUMENTATION OF REQUIRED APPROVAL(S).

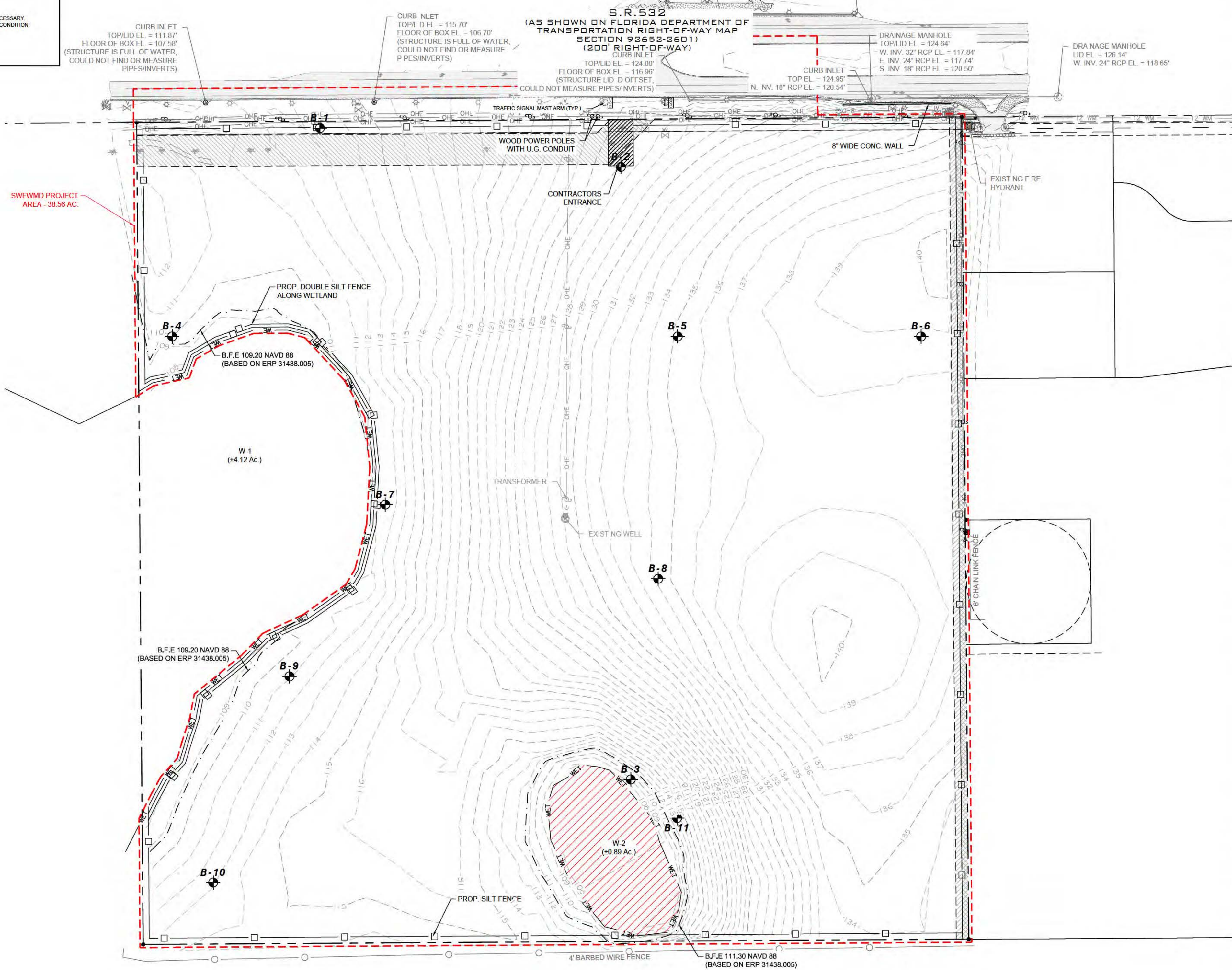
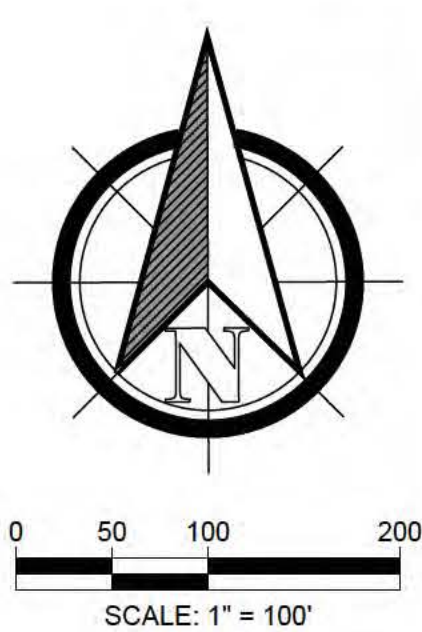
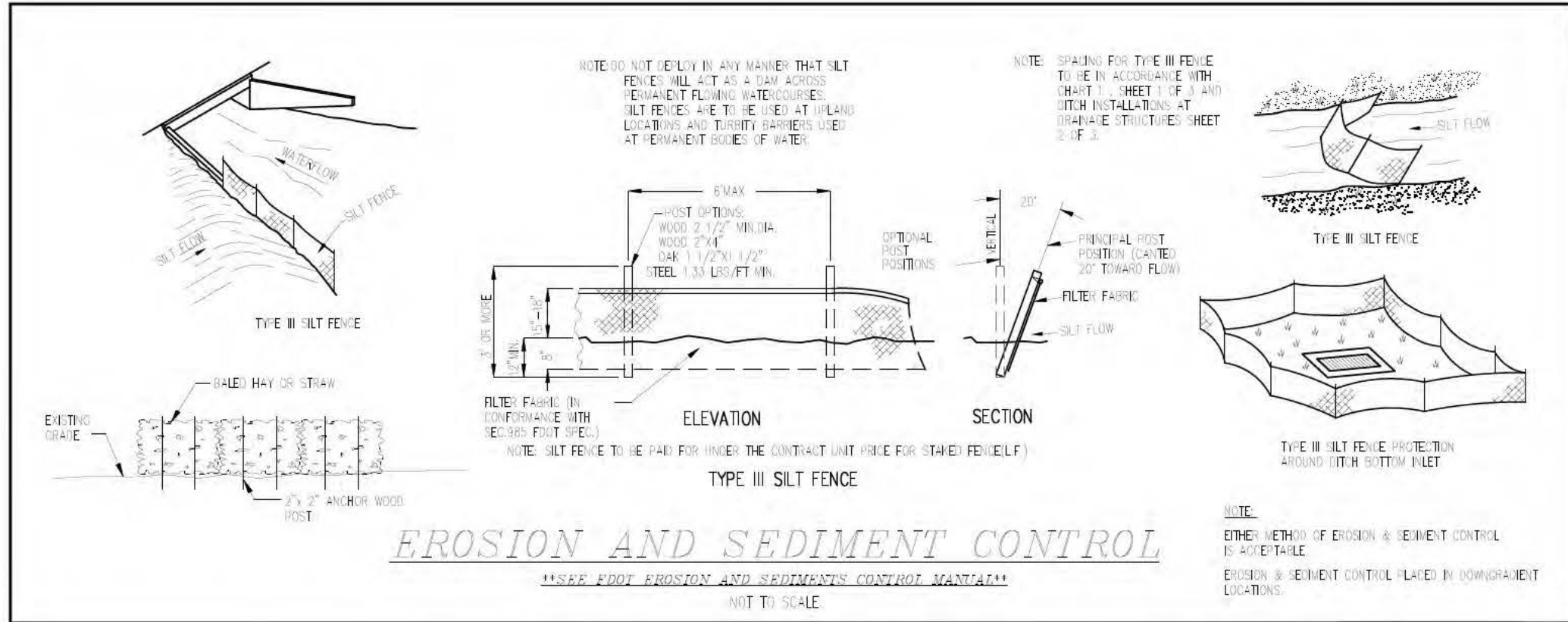
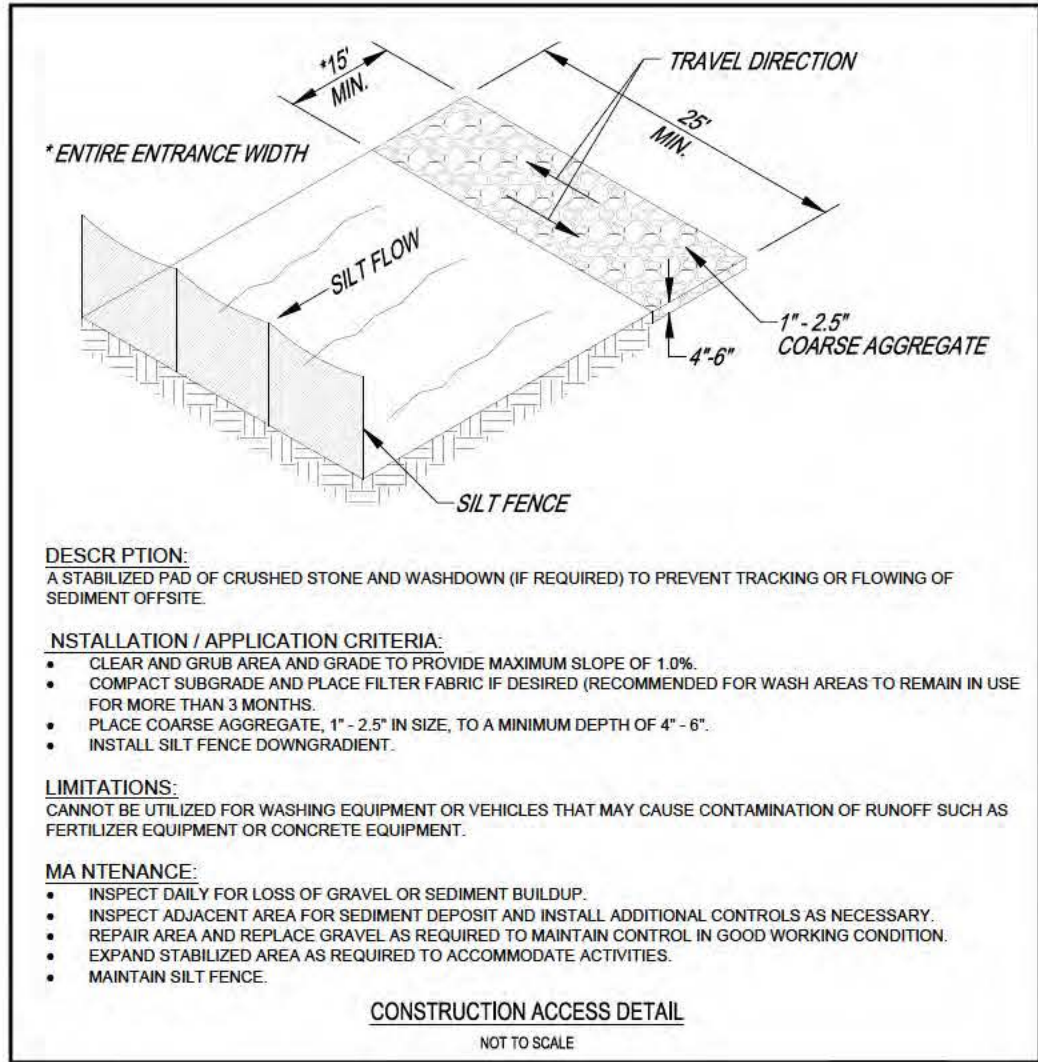
THE PERMITEE SHALL KEEP COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN AND ANY AMENDMENTS THERETO TOGETHER WITH PERMITTED CONSTRUCTION DRAWINGS AT THE CONSTRUCTION SITE FOR USE BY CONSTRUCTION PERSONNEL, AND SHALL MAKE THE PLAN AND CONSTRUCTION DRAWINGS AVAILABLE UPON REQUEST TO THE DISTRICT STAFF WHO VISIT THE PROJECT DURING INSPECTIONS.

THE DISTRICT WILL NOTIFY THE PERMITEE IF IT DETERMINES THAT THE STORMWATER POLLUTION PREVENTION PLAN, AS IMPLEMENTED, DOES NOT COMPLY WITH ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THE PERMIT. THE PERMITEE SHALL IMPLEMENT CORRECTIVE MEASURES AS SOON AS POSSIBLE, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING RECEIPT OF SUCH NOTIFICATION.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

THE FOLLOWING PRACTICES SHALL COMPLY WITH THE STORMWATER PREVENTION POLLUTION PLAN AS WELL AS REFLECT THE REQUIREMENTS OF:

- FDEP'S NPDES GENERIC PERMIT FOR CONSTRUCTION ACTIVITIES.
- ALL STATE AND LOCAL REQUIREMENTS OF STORMWATER MANAGEMENT SYSTEMS UNDER CHAPTERS 400-4, 400-40, AND 400-400 OF THE FLORIDA ADMINISTRATIVE CODE AS ADMINISTERED BY THE LOCAL WATER MANAGEMENT DISTRICT IN ADDITION TO 33 CFR ADMINISTERED BY ARMY CORP OF ENGINEERS.



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EROSION & SEDIMENT CONTROL

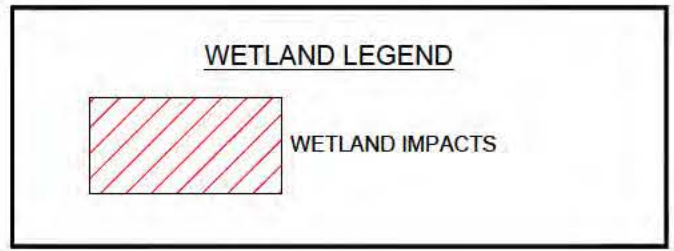
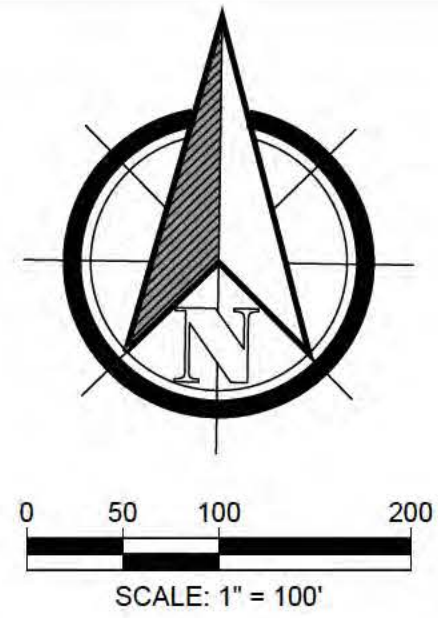
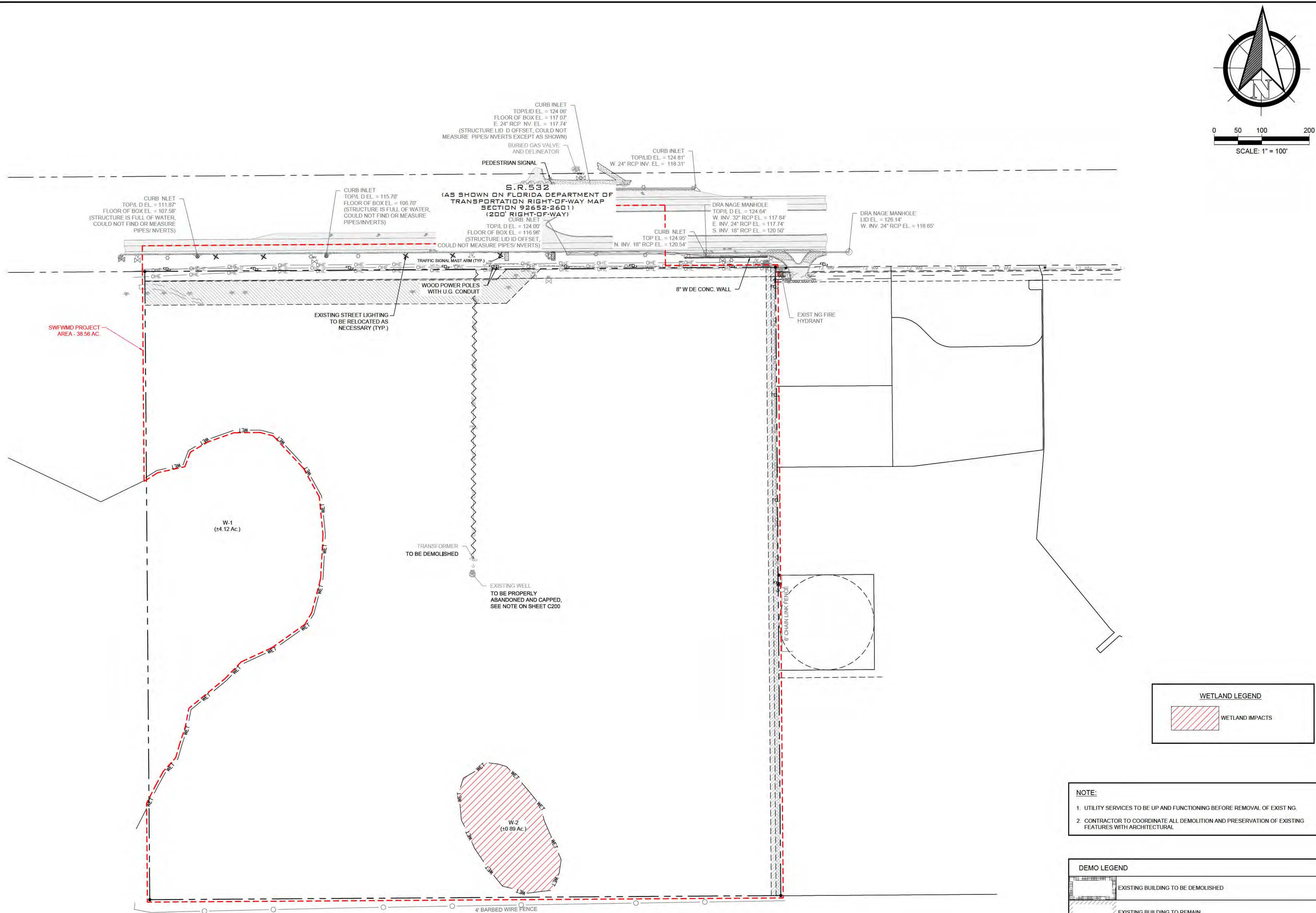
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C300



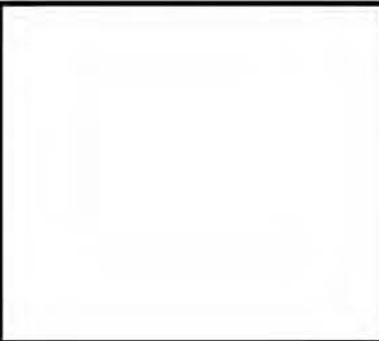
- NOTE:**
- UTILITY SERVICES TO BE UP AND FUNCTIONING BEFORE REMOVAL OF EXISTING.
 - CONTRACTOR TO COORDINATE ALL DEMOLITION AND PRESERVATION OF EXISTING FEATURES WITH ARCHITECTURAL.

DEMO LEGEND	
	EXISTING BUILDING TO BE DEMOLISHED
	EXISTING BUILDING TO REMAIN
	EXISTING PAVEMENT AND CONCRETE TO BE DEMOLISHED AND REMOVED
	EXISTING FENCE, SEWER / WATER LINE, AND OHE TO BE REMOVED

DEMOLITION VEGETATION REMOVAL NOTE:

THIS DEMOLITION PLAN WAS PREPARED WITHOUT THE AID OF A DETAILED TREE OR VEGETATION SURVEY. THERE MAY OR MAY NOT BE TREES AND OTHER VEGETATION NOT DEPICTED ON THESE DOCUMENTS THAT REQUIRE REMOVAL. THE CONTRACTOR IS EXPECTED TO PROPERLY DISPOSE OF/REMOVE ALL VEGETATION WITHIN THE AFFECTED WORK AREA TO AN OFFSITE FACILITY. IT IS RECOMMENDED THAT THE CONTRACTOR MAKE SITE VISITS TO DETERMINE SCOPE OF VEGETATION CLEARING IN ADVANCE OF BIDDING. NO ADDITIONAL MONIES WILL BE MADE AVAILABLE BEYOND THOSE SPECIFIED IN THE BASE BID FOR VEGETATION CLEARING OR DISPOSAL.

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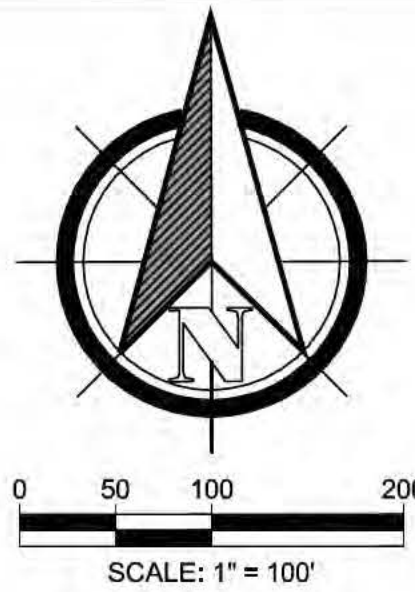
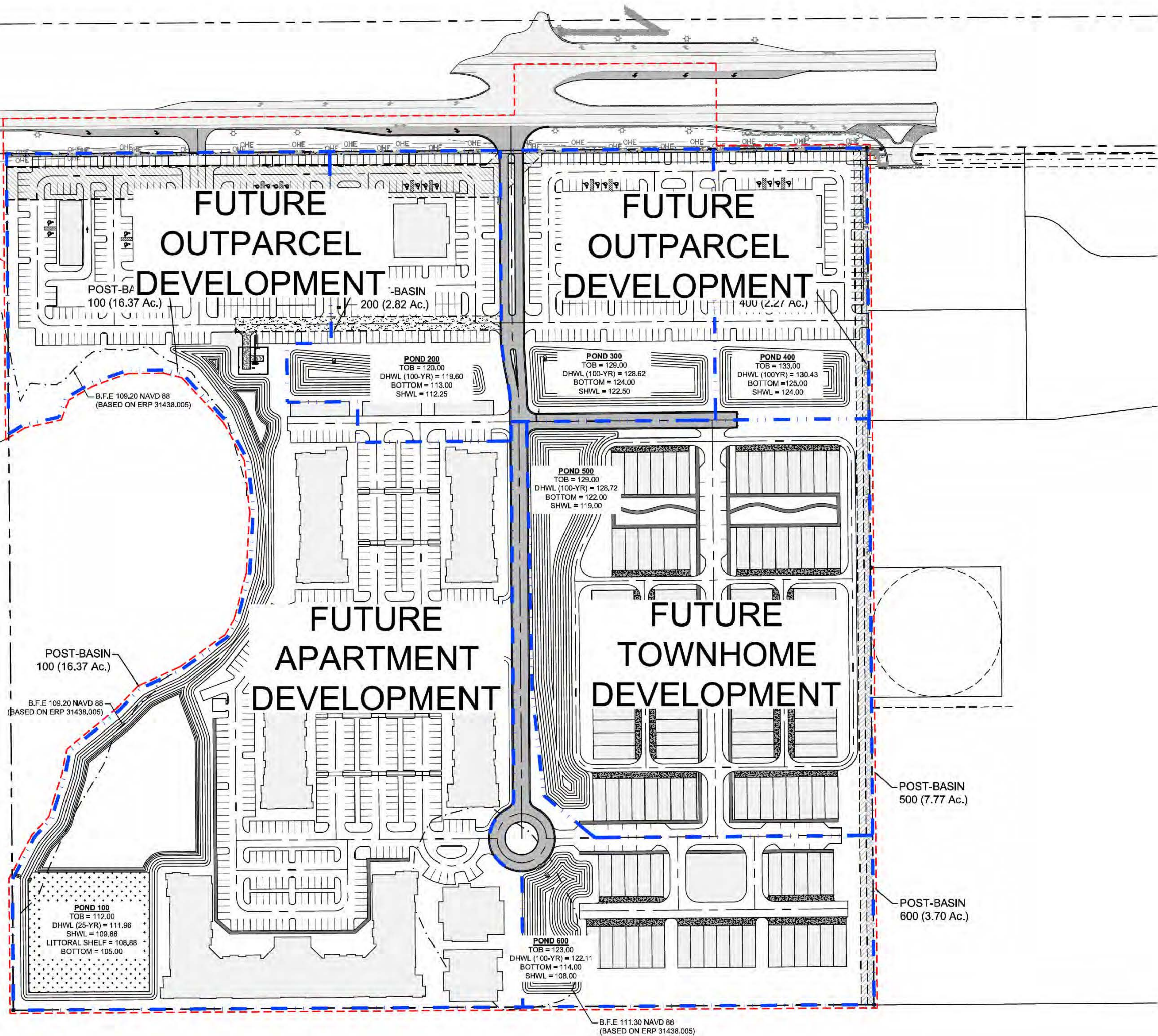
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C400

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SWFWMD PROJECT
AREA - 35.56 AC.



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CONCEPT PLAN

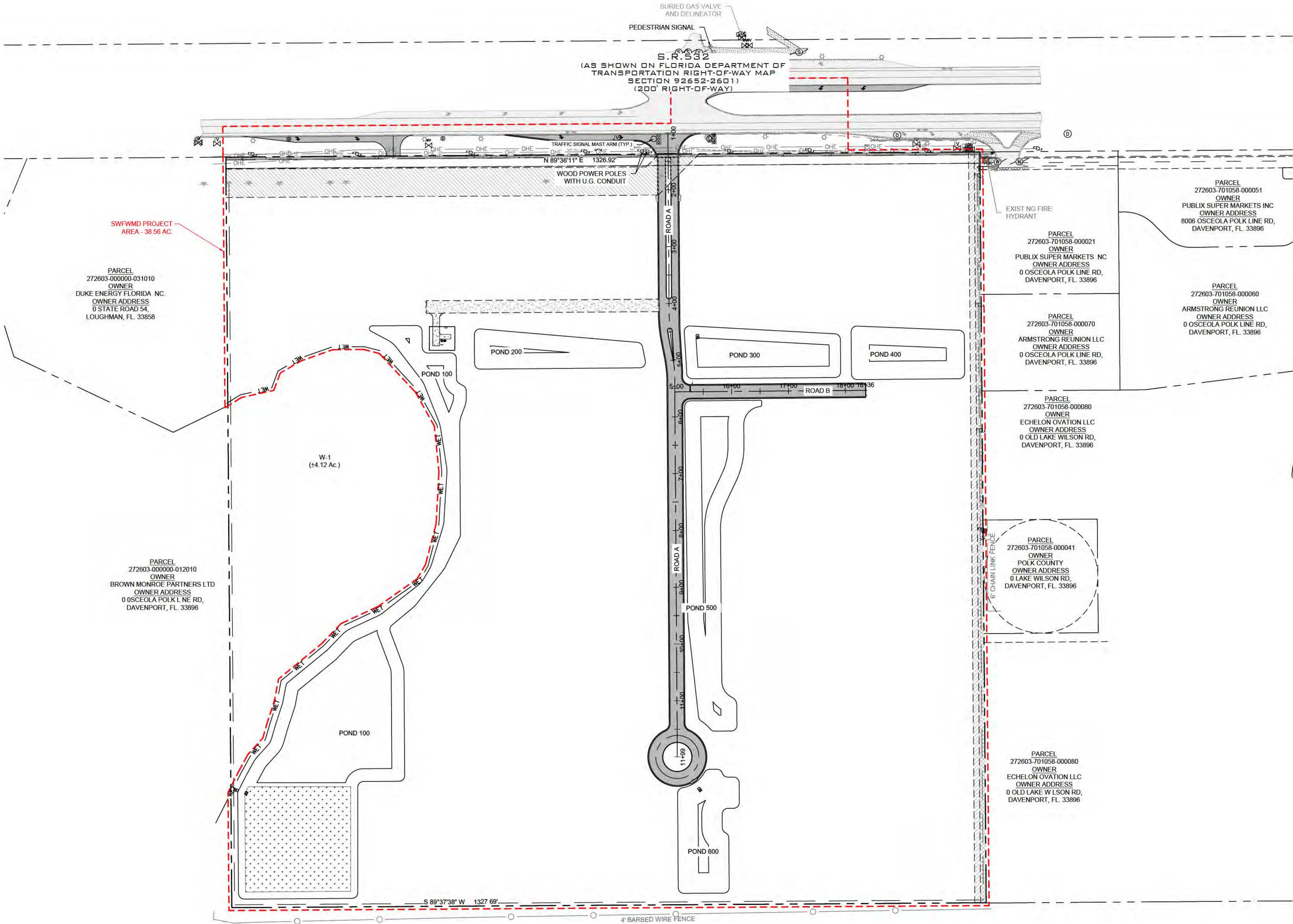
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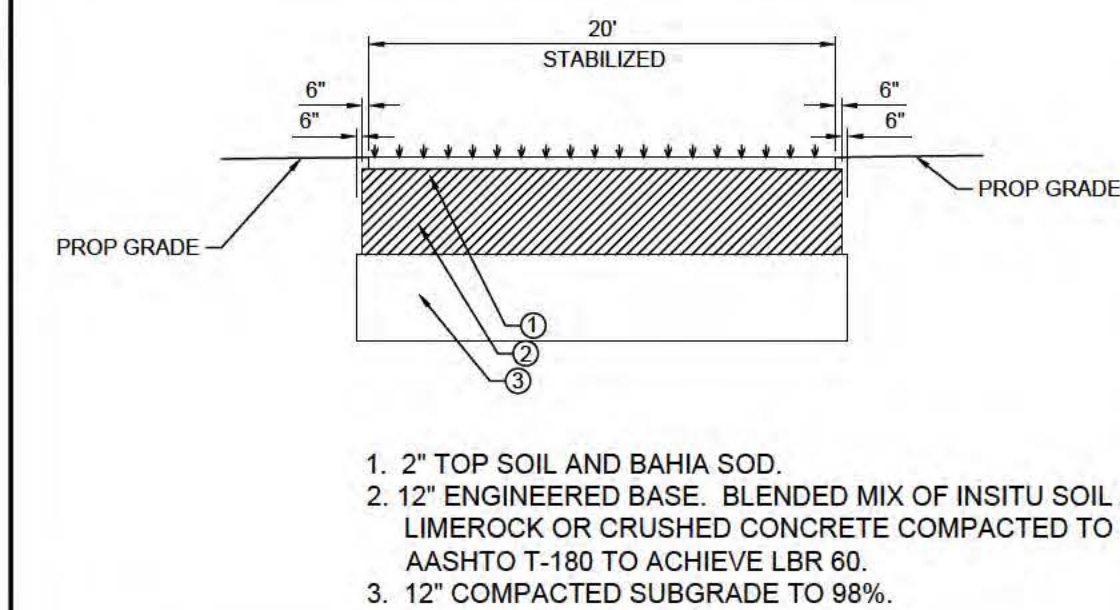
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C500

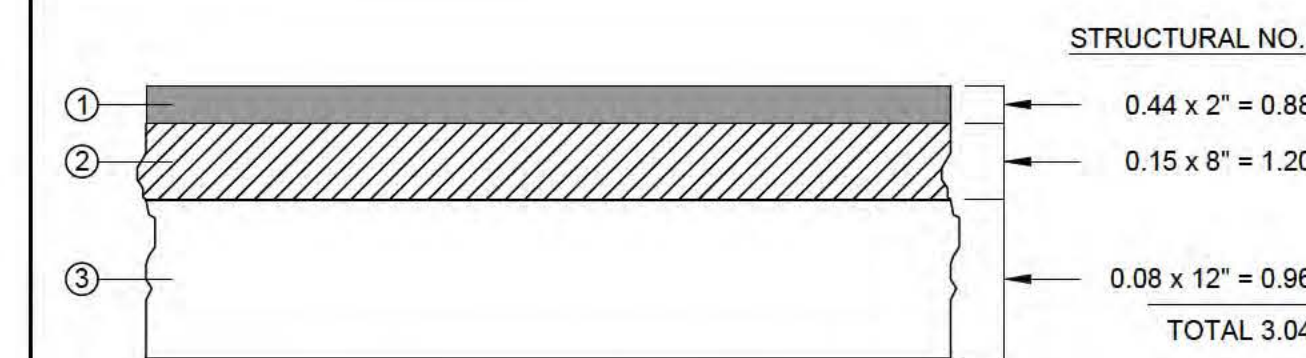


SITE DATA

PROJECT AREA:	±38.56 ACRES
PARCEL INFORMATION	
PARCEL ID:	272603-000000-013010
ZONING:	CACX / TSDA
SETBACKS	
FRONT SETBACK	20 FEET
REAR SETBACK	5 FEET
SIDE SETBACK	5 FEET



20' STABILIZED LANE DETAIL
N.T.S.



MATERIAL SPECIFICATIONS FOR ON-SITE ROADWAY

- 2" TYPE SP-12.5 ASPHALTIC CONCRETE, FDOT SPEC. #334
- 8" CRUSHED CONCRETE BASE, COMPACTED TO 98% AASHTO - T180 (LBR 120), FDOT SPEC. #200, PRIME @ 0.10 GALS. PER SQ. YD., FDOT SPEC. #300
- 12" TYPE 'B' STABILIZATION, LBR 40 (MIN.), FDOT SPEC. 180, COMPACTED TO 98% AASHTO T-180

PAVEMENT LEGEND

	PROPOSED ASPHALT PAVEMENT AREA (SEE DETAIL BELOW)
	EXISTING ASPHALT PAVEMENT AREA
	PROPOSED CONCRETE (SEE DETAIL ON SHEET C500)
	EXISTING CONCRETE

GENERAL SITE NOTES

- CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED LAYOUT OF SPECIFIC BUILDINGS AND SITE FEATURES
- CONTRACTOR TO PROVIDE CONCRETE PAVING ALTERNATE FOR PROPOSED ASPHALT PAVING PER TYPICAL CONCRETE SECTION.

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OVERALL GEOMETRY PLAN

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C501

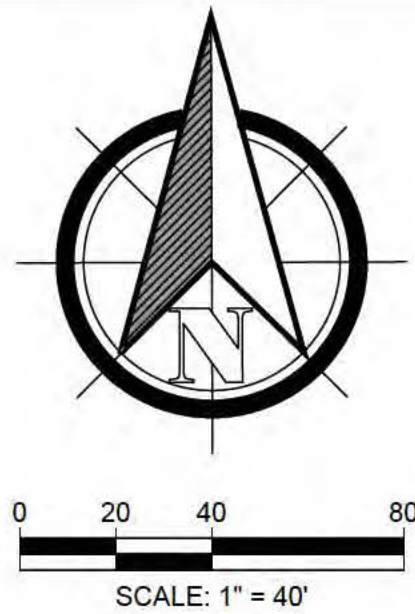
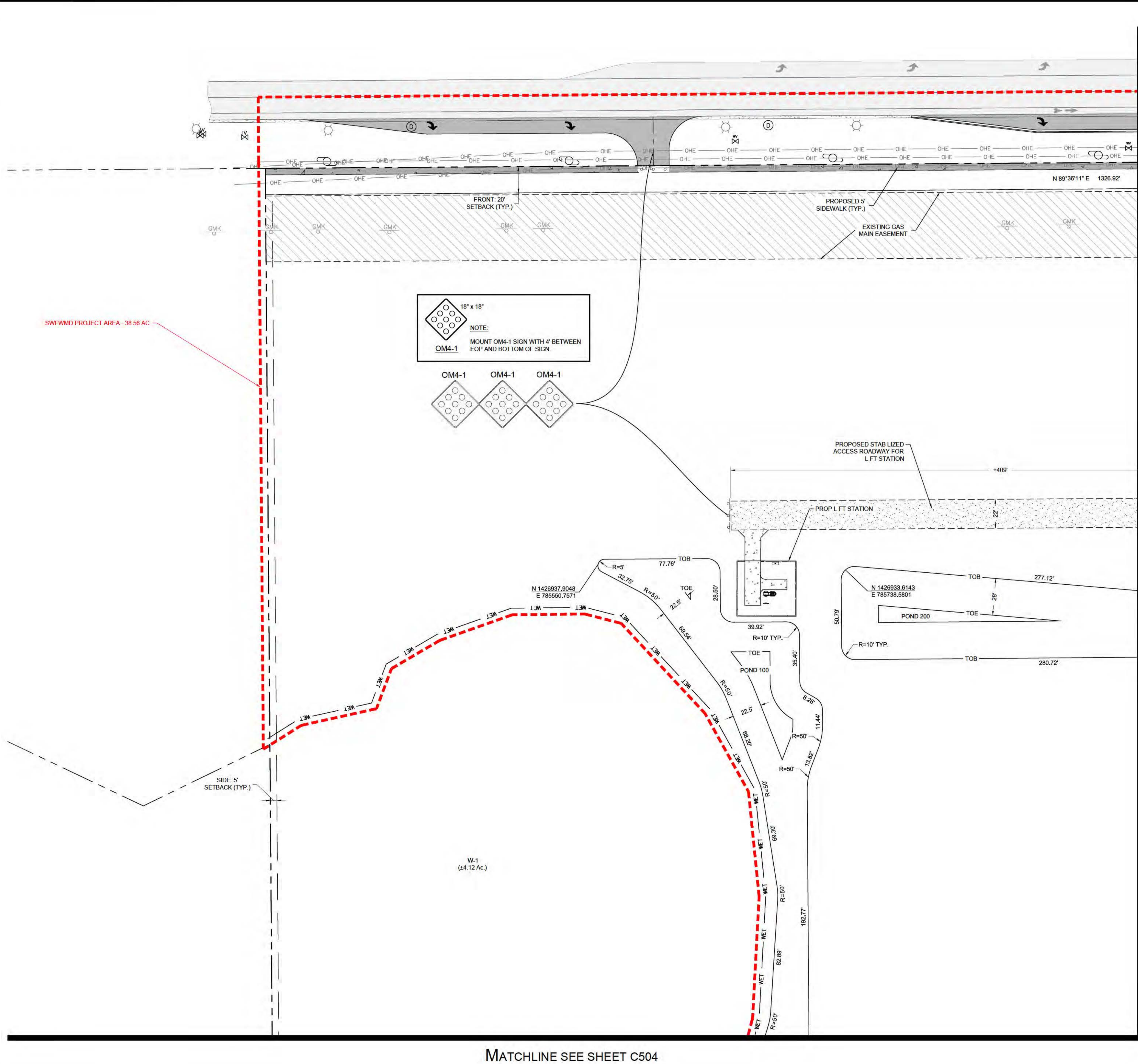
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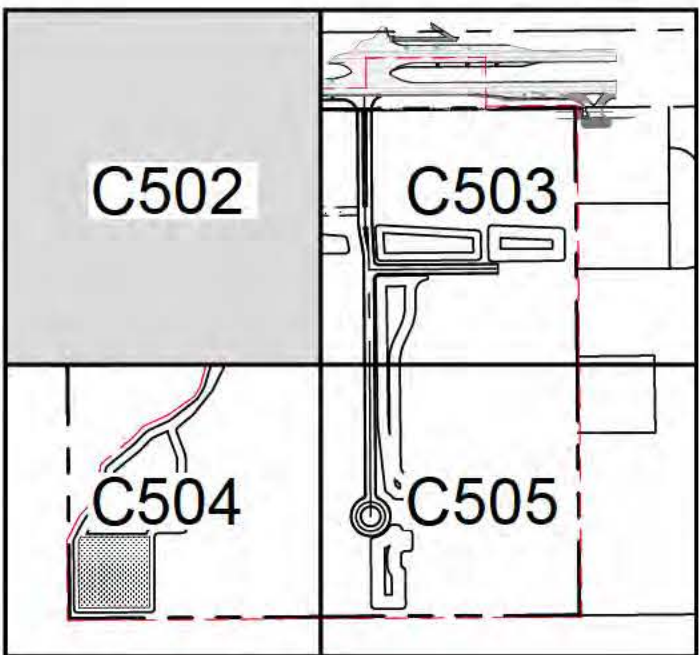
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KEY MAP

CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE PERFORMING WORK IN THE VICINITY OF THE EXISTING GAS EASEMENT & GAS MAIN.

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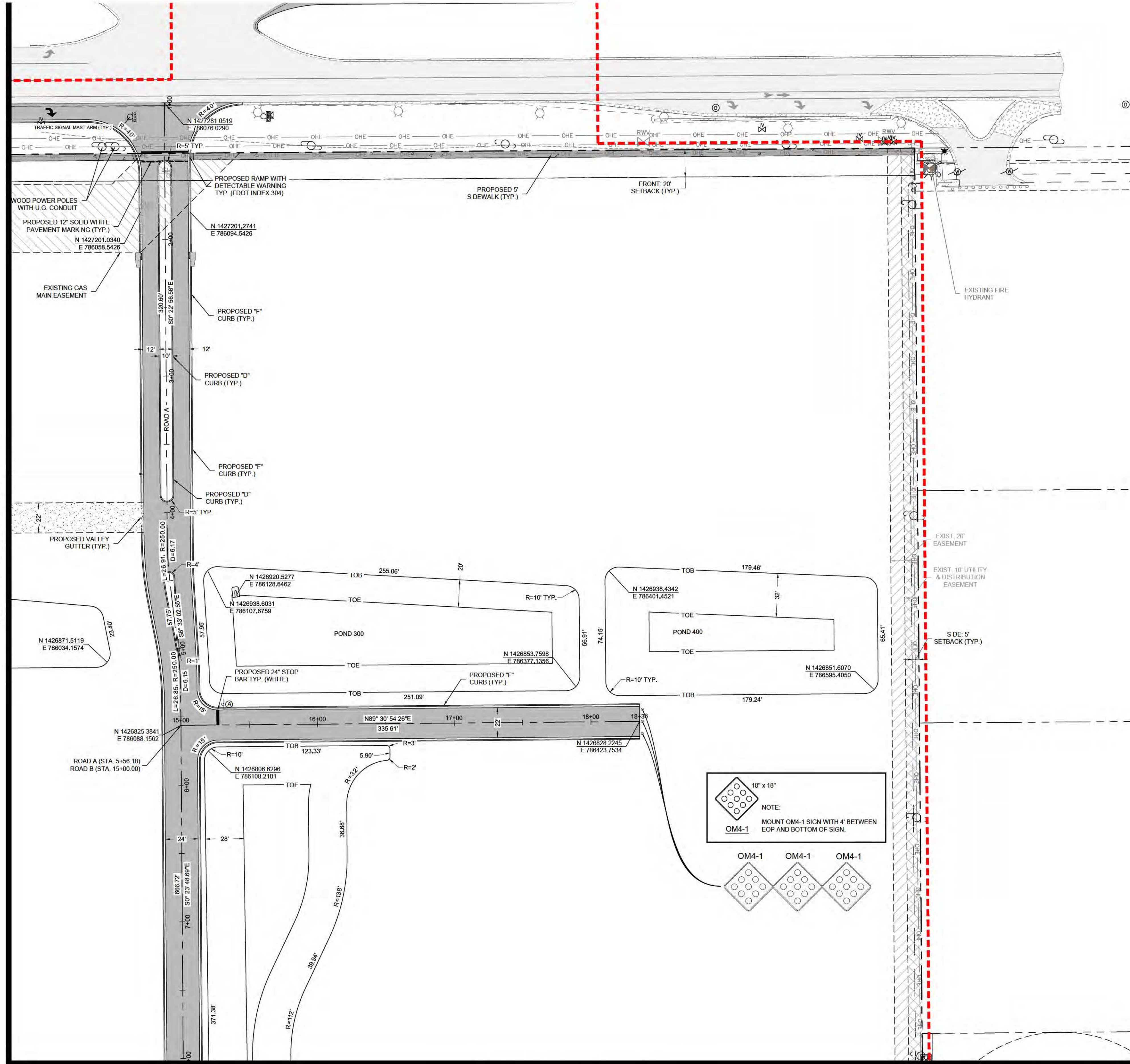
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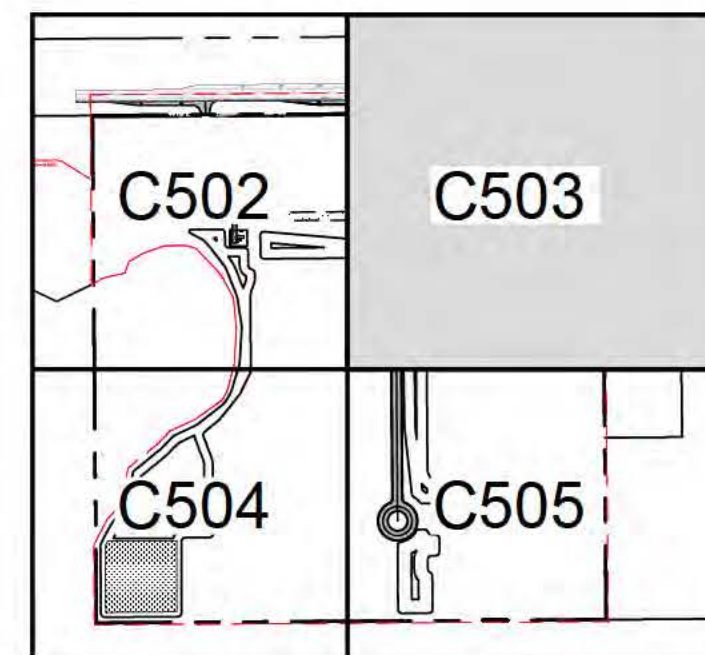
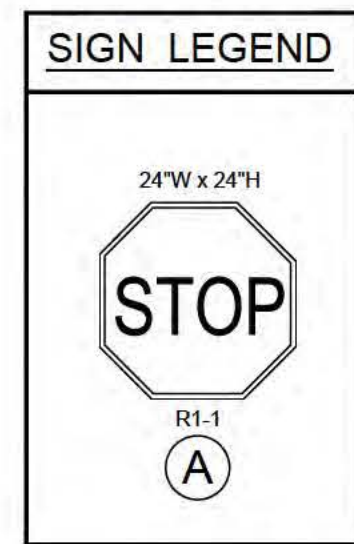
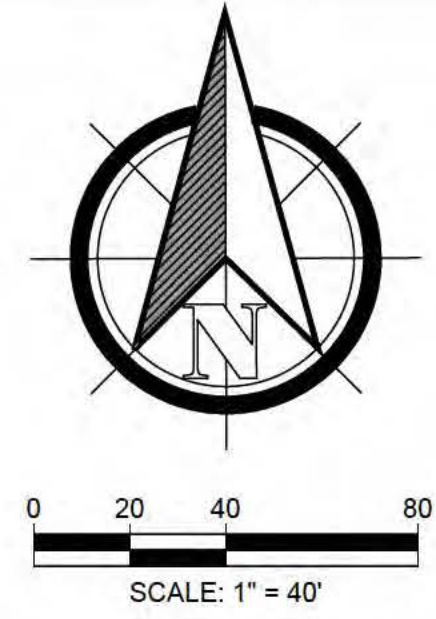
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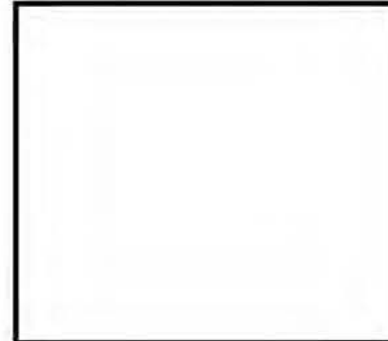
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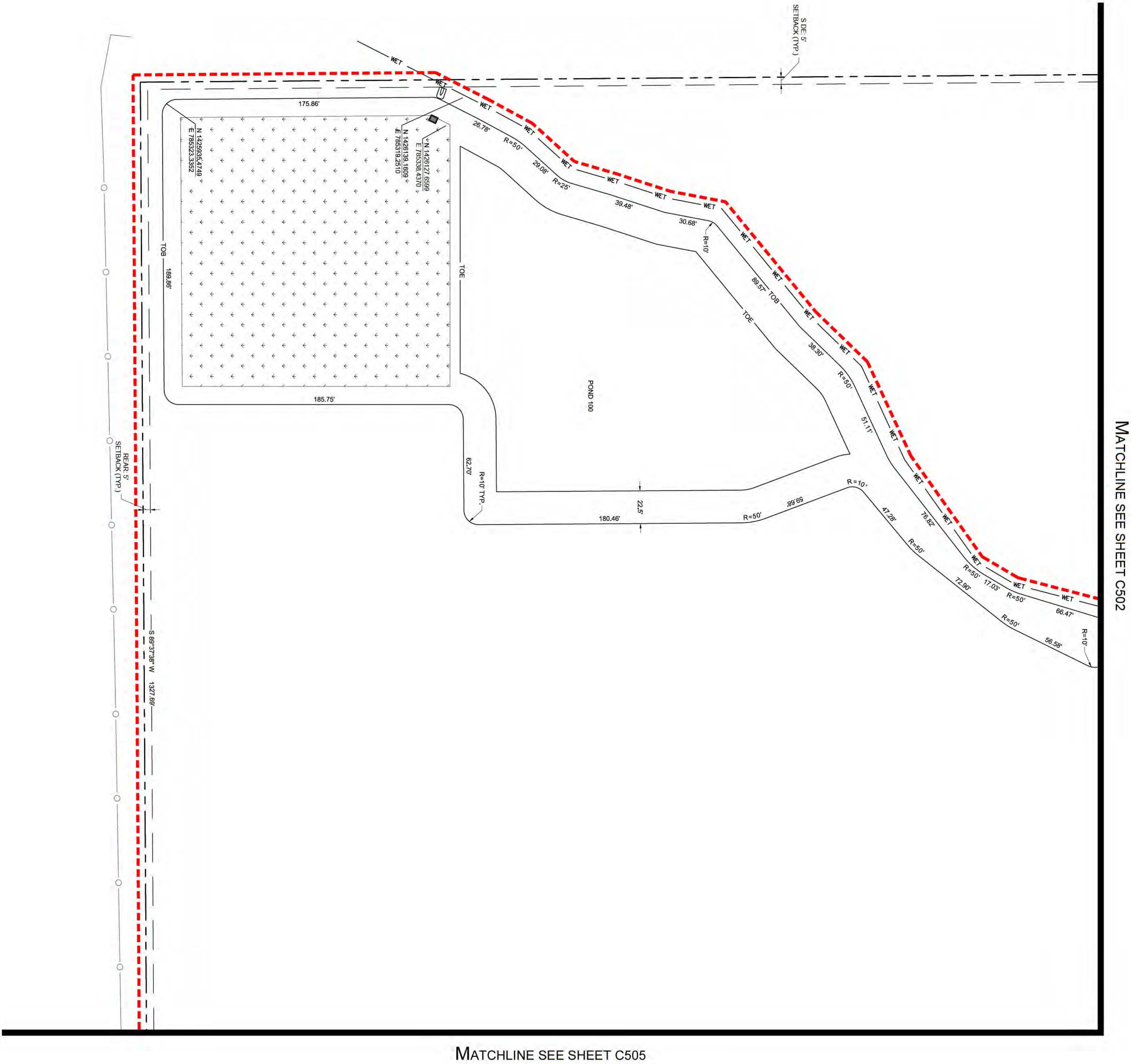
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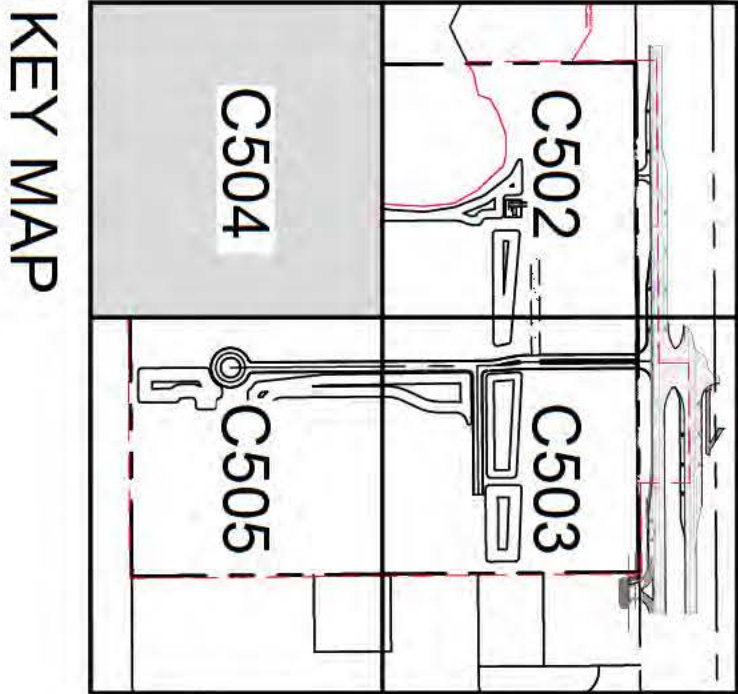
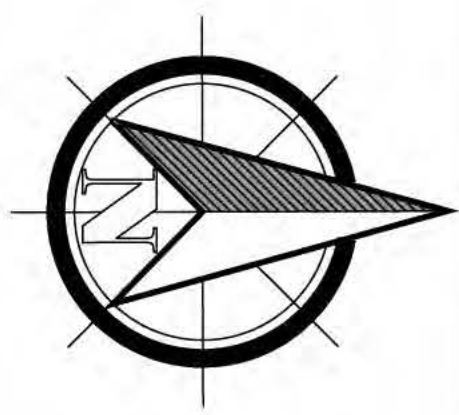
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KEY MAP

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GEOMETRY PLAN 3

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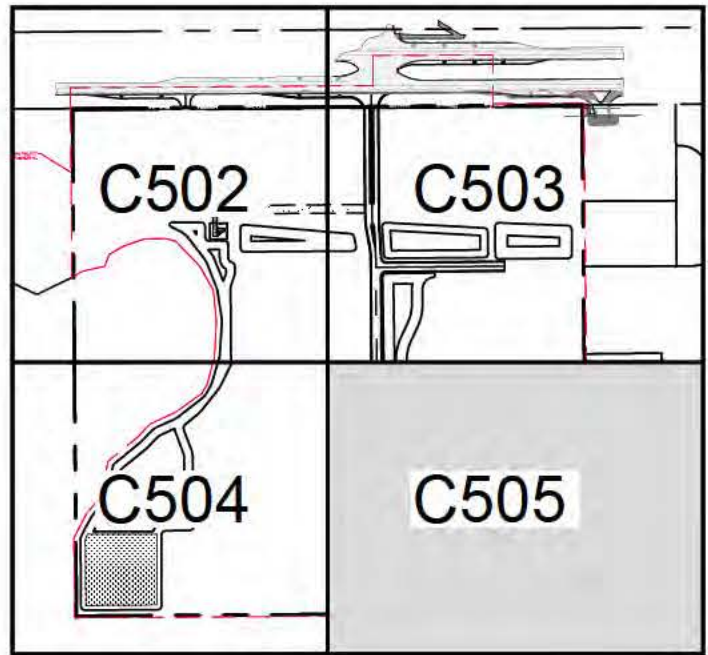
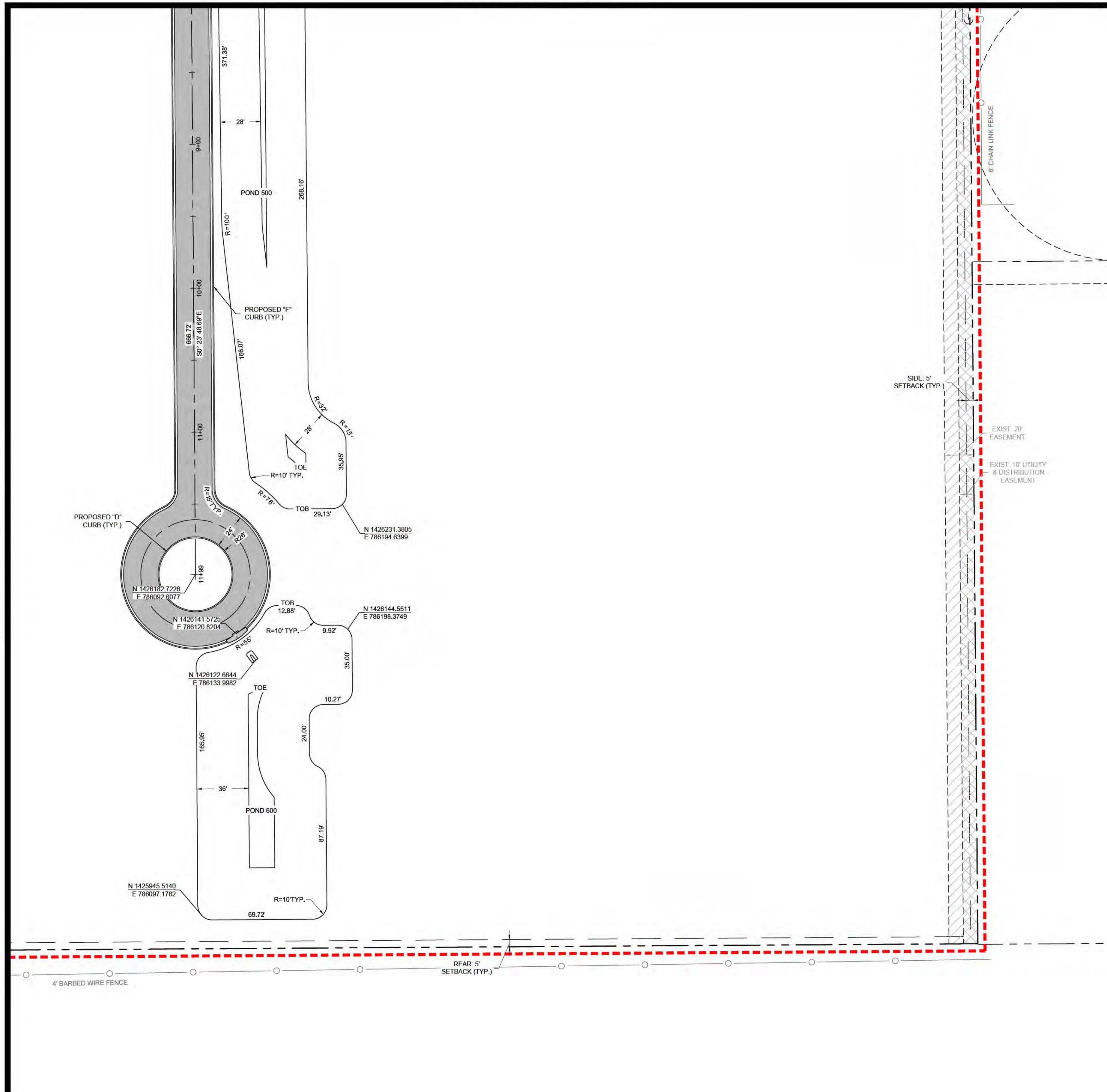
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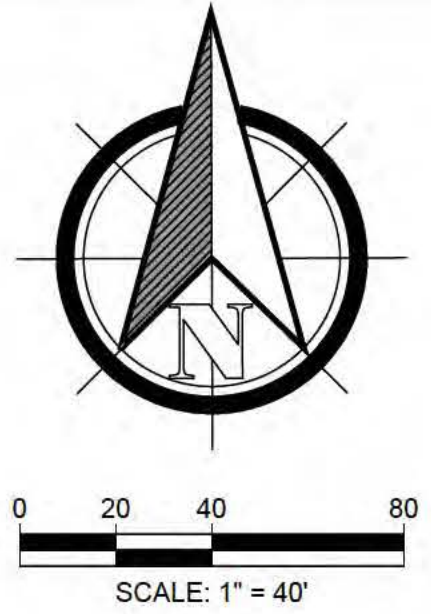
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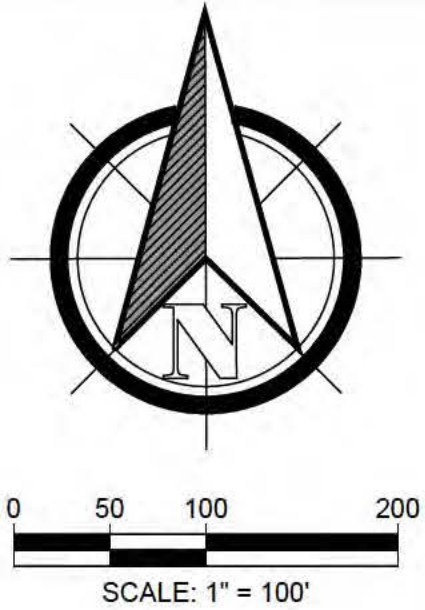
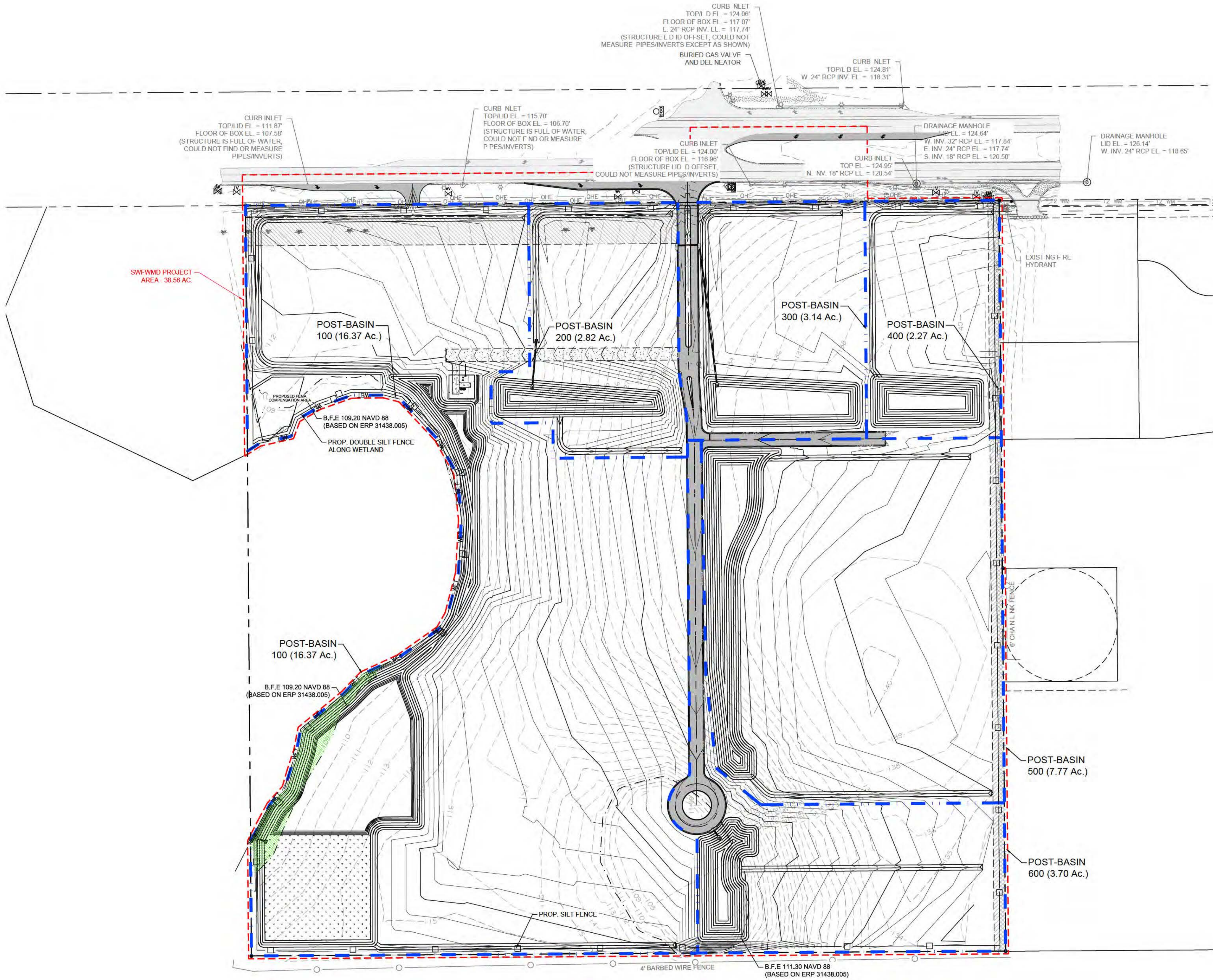
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BENCHMARK NOTE:

A PERMANENT BENCHMARK SHALL BE SET FOR THE OUTFALL STRUCTURE, BY CONTRACTOR AND INCLUDED ON AS BUILT DRAWINGS. A STAMPED DISK RATHER THAN MARK ETCHED IN STRUCTURE SHALL BE PROVIDED.

SITE SPECIFIC GRADING & DRAINAGE NOTES:

- A FENCE SHALL BE CONSTRUCTED AROUND ANY STORMWATER POND WITH SIDESLOPES STEEPER THAN 4(H) TO 1(V).
- CONTRACTOR TO SAW CUT EXISTING PAVEMENT AT PROPOSED DRIVEWAY TIE INS TO PROVIDE A CLEAN EDGE FOR NEW PAVEMENT AND BASE CONNECTION.
- CONTRACTOR TO BECOME FAMILIAR WITH AND ADHERE TO ALL ADA STANDARDS.
- CONTRACTOR TO CONSTRUCT SIDEWALKS WITH A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% L NEAR SLOPE UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. ANY SIDEWALKS CONSTRUCTED EXCEEDING THESE PARAMETERS WILL BE RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
- CONSTRUCT HANDICAP RAMPS AT EACH DRIVEWAY PER ADA STANDARDS.
- CONTRACTOR TO PROVIDE SMOOTH TRANSITION AT LOCATIONS WHERE PROPOSED FEATURES MEET EXISTING FEATURES (CONCRETE, ASPHALT, ETC.).
- SILTATION RUNOFF TO THE PROPOSED STORMWATER POND(S) SHALL BE PREVENTED VIA SILT FENCE, HAY BALES, OR OTHER METHODS UNTIL ALL DISTURBED SURFACES ARE STABILIZED VIA SOD, BUILDINGS, OR PAVING. ANY ACCUMULATION OF UNDESIRABLE MATERIALS ON POND BOTTOM ARE TO BE REMOVED BY CONTRACTOR PRIOR TO ACCEPTANCE OF WORK BY OWNER.
- ALL FILL PLACED FOR POND BERMING SHALL BE FREE OF ORGANICS, NON-PLASTIC GRANULAR SOIL (CLEAN SANDS). FILL SHALL BE PLACED IN MAX. OF 12" LIFTS AND COMPACTED TO A MINIMUM 95% per ASTM SPEC D-1557. TO OBTAIN BERM STABILITY.
- ALL MEG ELEV., ROADWAY, AND UNDERGROUND STORMWATER UTILITIES SHOWN ARE APPROXIMATE.
- ALL AREAS DISTURBED ARE TO BE SODDED VIA BAHIA SOD BY CONTRACTOR. SOD IS TO BE STAKED AS REQUIRED IN SLOPED AREAS AND MONITORED FOR WASHOUTS. ONCE THE SOD IN SLOPED AREAS IS ESTABLISHED AND THE SLOPE IS STABILIZED, CONTRACTOR MAY REMOVE STAKES.
- CONTRACTOR SHALL OBTAIN THE LATEST EDITION OF THE SOIL REPORT FOR THIS PROJECT. RECOMMENDATIONS AND INSTRUCTION INCLUDED THEREIN SHALL BE ADOPTED BY CONTRACTOR AS PART OF THESE DOCUMENTS AND REQUIRED BY THE CONTRACTOR TO PERFORM/CONSTRUCT. THESE ITEMS SHALL BE INCLUDED WITHIN THE CONTRACTOR'S BASE BID WITH NO ADDITIONAL MONIES TO BE MADE AVAILABLE AT A LATER DATE FOR THESE ITEMS.
- ROOF DRAIN SYSTEMS ARE NOT INCLUDED IN THIS PLAN SET AND ARE NOT SHOWN. REFER TO THE ARCHITECTURAL PLAN FOR DOWNSPOUT LOCATIONS. ALL ROOF DRAIN MANFOLD PIPES TO BE CONSTRUCTED AT 1% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED. ALL STORMWATER RUNOFF FROM ROOF DRAINS SHALL BE DIRECTED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM.
- ALL MECHANICAL PADS SHALL BE SET 6" ABOVE GRADE.

STORMWATER MANAGEMENT SYSTEM OPERATING AND MAINTENANCE PROCEDURES

THE STORMWATER FACILITY MUST BE MAINTAINED PROPERLY IF IT IS TO PERFORM THE SERVICE FOR WHICH IT WAS DESIGNED. THIS IS INTENDED TO BE A GUIDE TO THE PROPER WAYS TO MAINTAIN THIS FACILITY. THIS IS ONLY A GUIDE AND SHOULD BE MODIFIED AS FIELD CONDITIONS REQUIRE.

1. MONTHLY, VISUALLY INSPECT INLET OPENINGS TO INSURE THAT NO CLOGGING HAS OCCURRED.
2. ONCE EVERY THREE MONTHS, VISUALLY INSPECT ALL PIPES FOR OBSTRUCTIONS OR A BUILD-UP OF EXCESSIVE SEDIMENTS. IF EXCESS SEDIMENTATION HAS OCCURRED, HAVE ALL LINES PROPERLY FLUSHED.
3. WEEKLY DURING THE SUMMER MONTHS AND BI-WEEKLY DURING THE REMAINDER OF THE YEAR, MOW ANY GRASS WITHIN THE STORMWATER RETENTION AND COLLECTION AREAS. GRASS CLIPPINGS SHALL BE COLLECTED AND REMOVED FROM THE SITE FOR PROPER DISPOSAL.

SEQUENCE OF MAJOR ACTIVITIES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES CONSTRUCTION STORMWATER PERMIT THROUGH THE FDEP AND SHALL SUBMIT THE NOTICE OF INTENT (NOI) AT LEAST 7 DAYS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE ACTIVITIES.
2. INSTALLATION OF SILT FENCE, EXISTING INLET PROTECTION (IF REQUIRED) AND ALL OTHER MEASURES INCLUDING BUT NOT LIMITED TO TEMPORARY SEDIMENT BASINS, DITCH PROTECTION, DIVERSION BERMS, ETC. REQUIRED BY THESE CONSTRUCTION PLANS AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
3. ROUGH GRADE THE STORMWATER RETENTION/DETENTION POND(S) AS WELL AS TEMPORARY SWALES TO FORCE DELIVERY OF ON-SITE RUNOFF TO THE POND(S). THE POND(S) WILL ACT AS SEDIMENTATION BASIN(S).
4. STABILIZE CLEARED AREAS WITHIN 7 DAYS OF LAST DISTURBANCE IF RUNOFF IS NOT CAPTURED BY STORMWATER POND(S).
5. INSTALL STORM SEWER CONVEYANCE SYSTEMS, UTILITIES, AND BUILDINGS.
6. COMPLETE GRADING AND CONSTRUCT ENTRANCES AND PAVEMENT.
7. INSTALL PERMANENT SODDING (IF NEEDED IN SLOPED AREAS), SEED & MULCH AS REQUIRED, OR OTHER PERMANENT STABILIZATION FEATURES.
8. REMOVE INSTALLED SILT BARRIERS AFTER ALL DISTURBED AREAS ARE STABILIZED.

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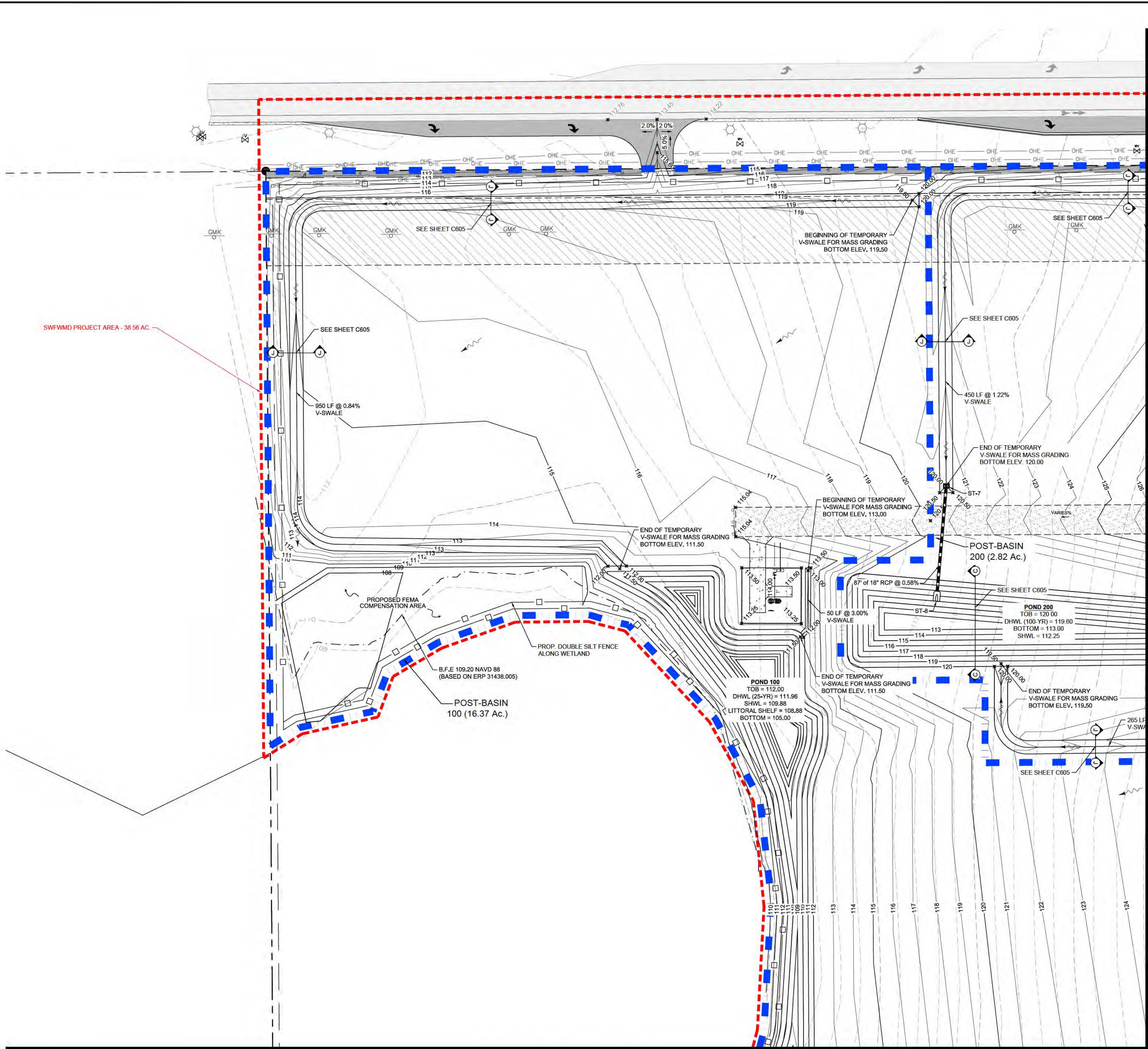
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MASTER DRAINAGE PLAN
OSCEOLA POLK LINE RD. DAVENPORT, FL 33886

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FLA. P.E. No. 60129

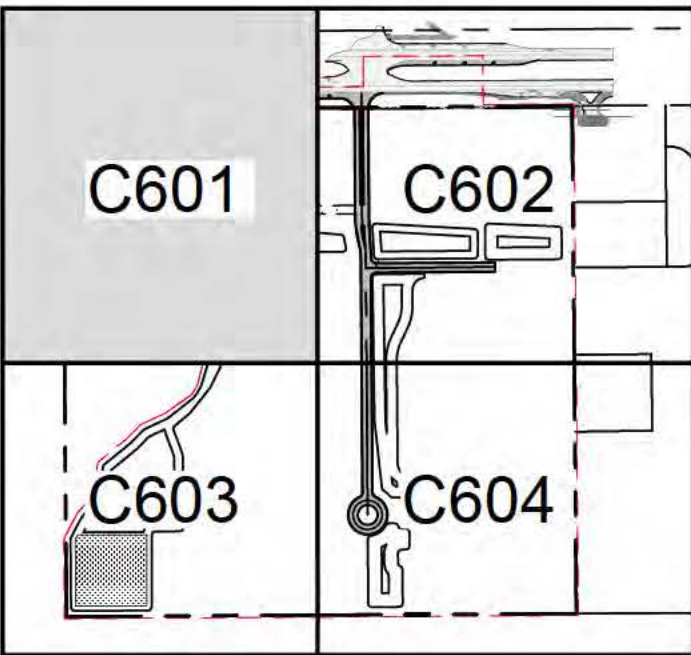
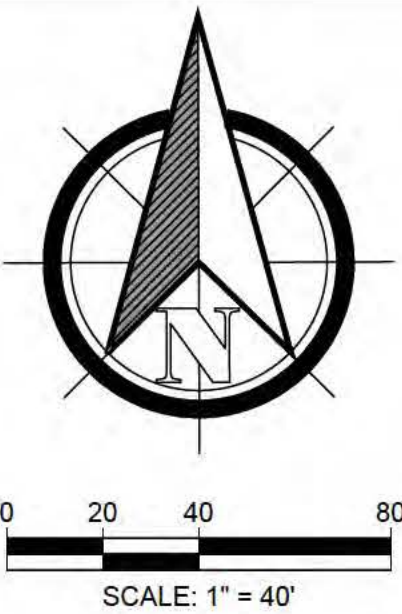
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C600



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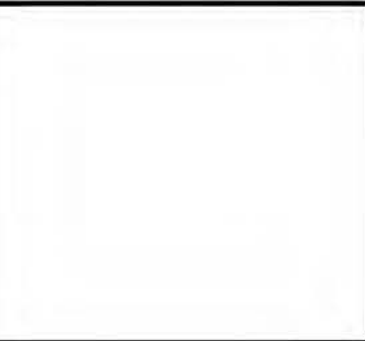
KEY MAP

STRUCTURE TABLE	
NAME:	DETAILS:
ST-7	FDOT Type "C" Inlet RIM = 120.00 NV OUT = 116.50
ST-8	18" MES NV N = 116.00

CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE PERFORMING WORK IN THE VICINITY OF THE EXISTING GAS EASEMENT & GAS MAIN.

GRADE ELEVATION LEGEND	
XXX.XX	PROPOSED GRADE / EDGE OF PAVEMENT
XXX.XX MES	MATCH EXISTING GROUND
XXX.XX HP	HIGH POINT

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GRADING & DRAINAGE PLAN 1

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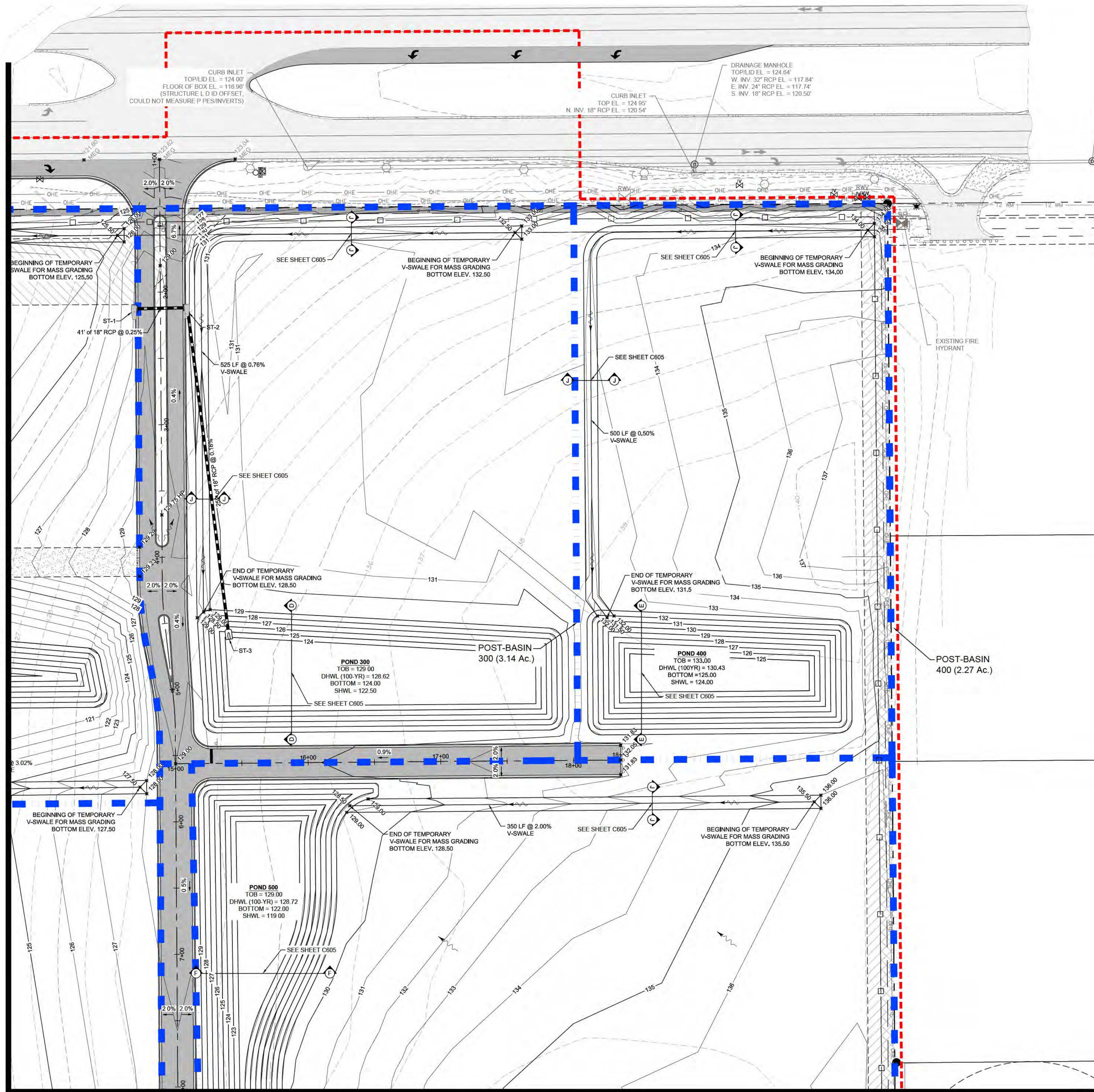
MATTHEW K. JOHNSON
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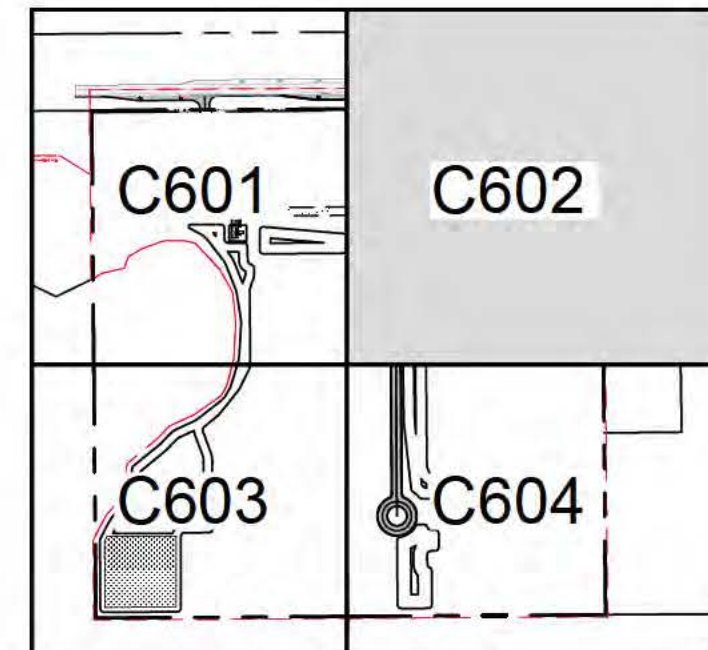
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C601

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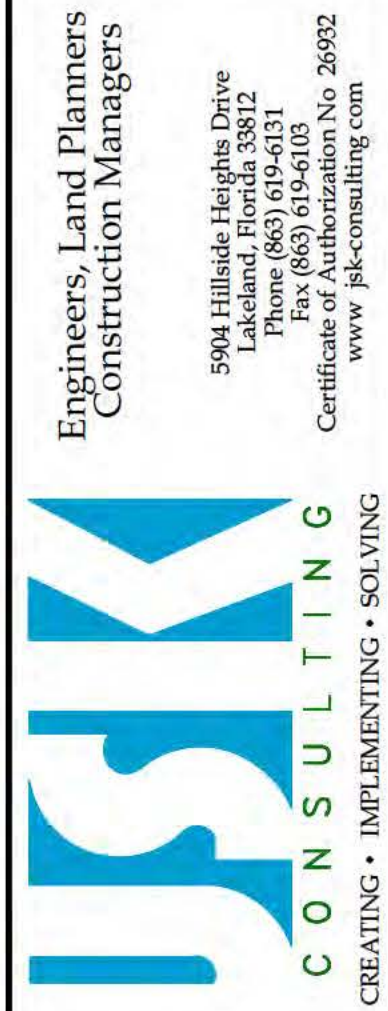
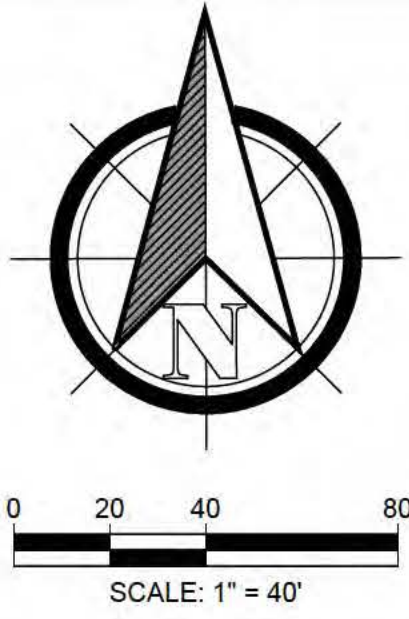
KEY MAP

CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE PERFORMING WORK IN THE VICINITY OF THE EXISTING GAS EASEMENT & GAS MAIN.

STRUCTURE TABLE	
NAME:	DETAILS:
ST-1	P-SR Inlet RIM = 128.32 INV OUT = 124.25
ST-2	P-SL Inlet RIM = 128.67 INV N = 124.15 INV OUT = 124.15
ST-3	18" MES INV N = 123.70

GRADE ELEVATION LEGEND

- XXX.XX = PROPOSED GRADE / EDGE OF PAVEMENT
- XXX.XX MES = MATCH EXISTING GROUND
- XXXX.XX HP = HIGH POINT

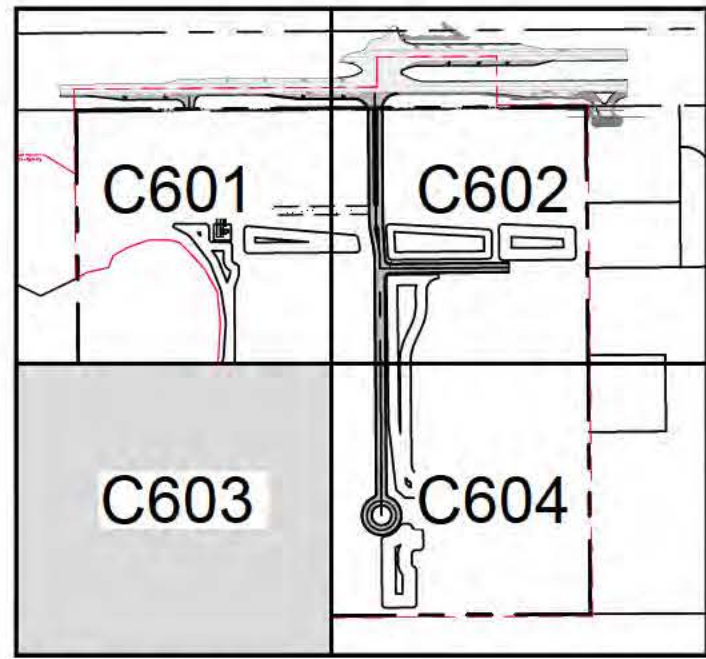


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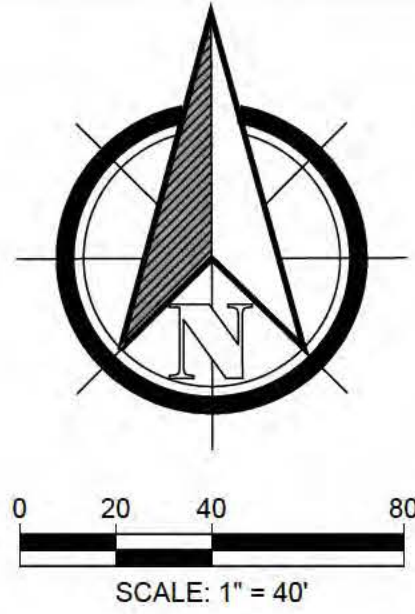
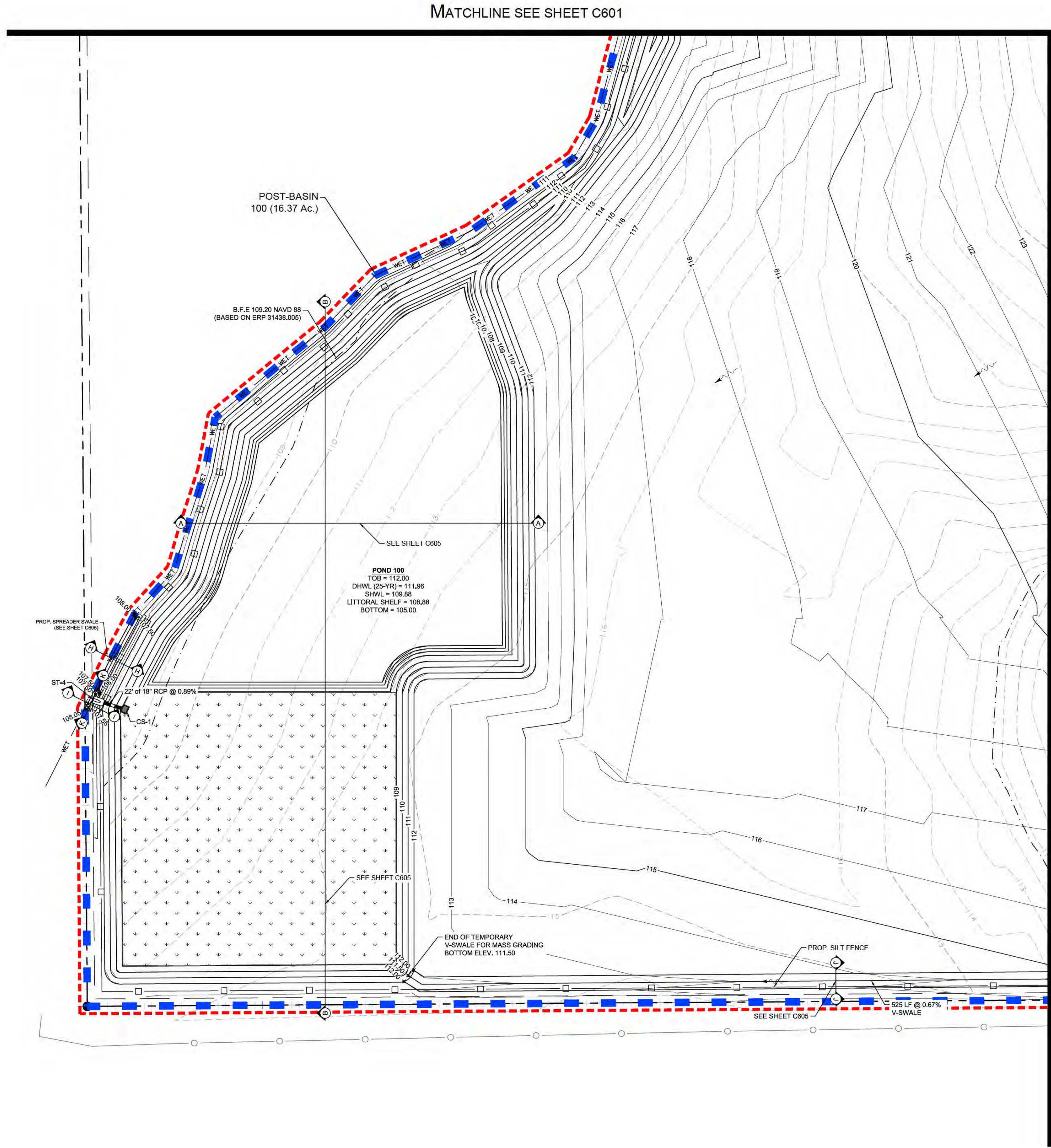
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GRADING & DRAINAGE PLAN 2
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DATE

SHEET NUMBER
C602



KEY MAP



STRUCTURE TABLE	
NAME:	DETAILS:
CS-1	FDOT Type T ³ Inlet SEE DETAIL ON SHEET C605
ST-4	18" MES INV N = 107.55

GRADE ELEVATION LEGEND	
XXX.XX	= PROPOSED GRADE / EDGE OF PAVEMENT
XXX.XX MES	= MATCH EXISTING GROUND
XXX.XX HP	= HIGH POINT

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GRADING & DRAINAGE PLAN 3

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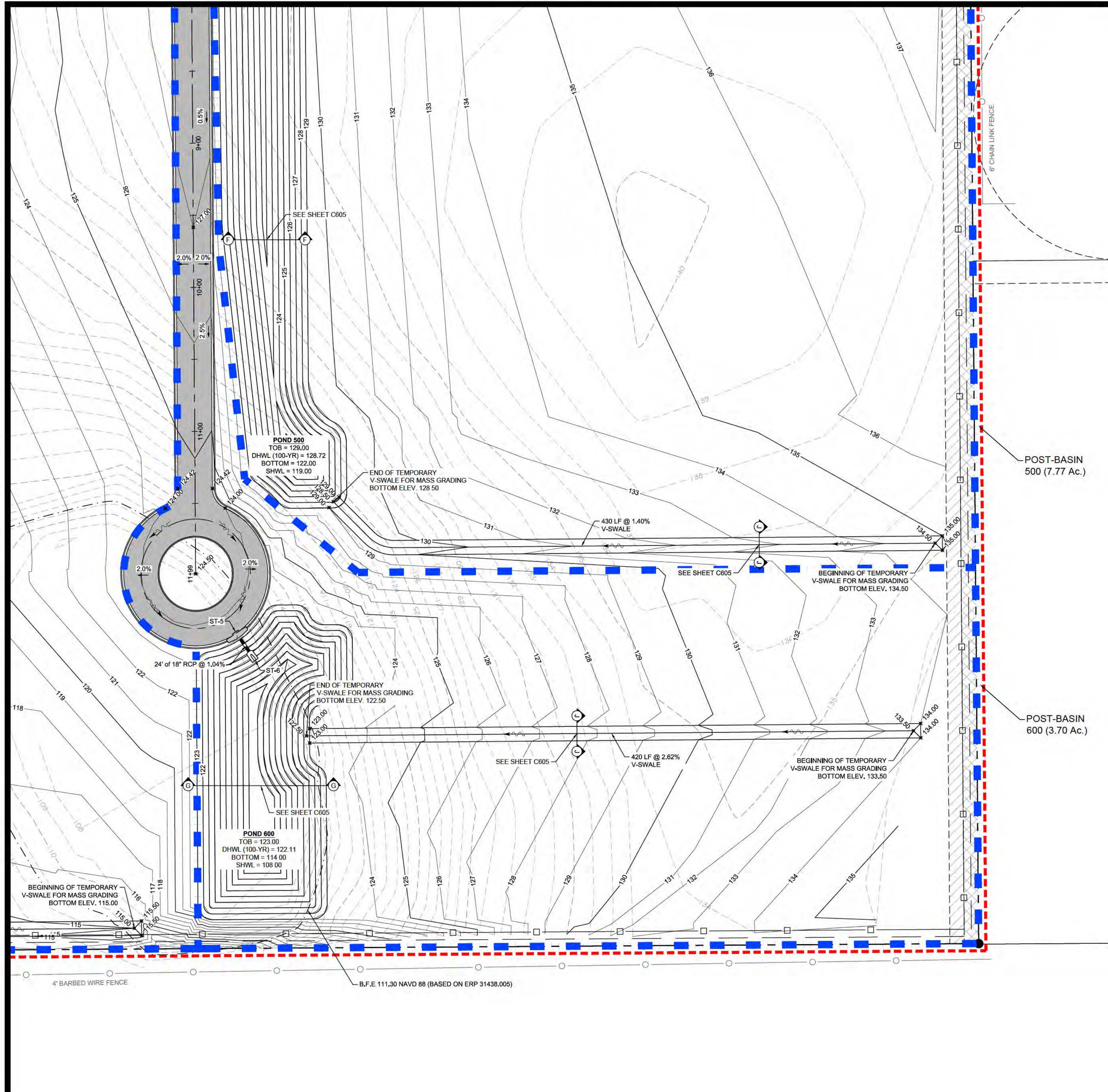
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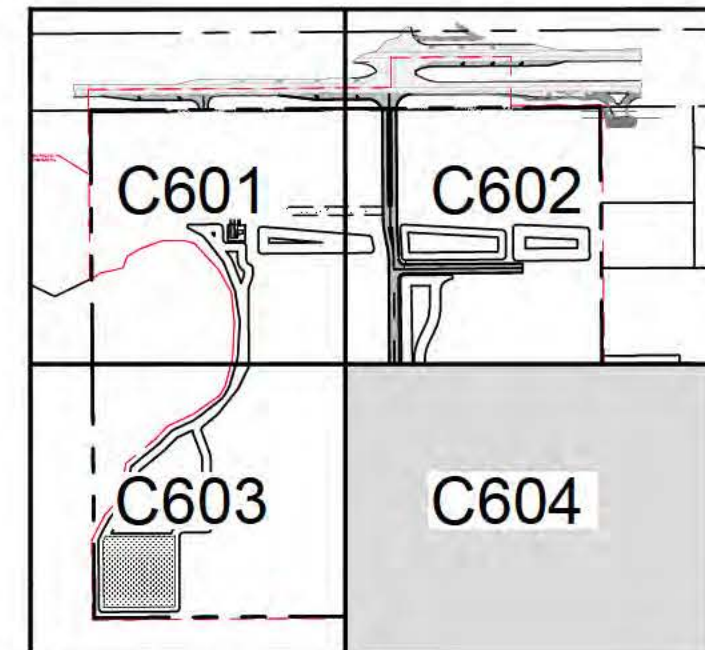
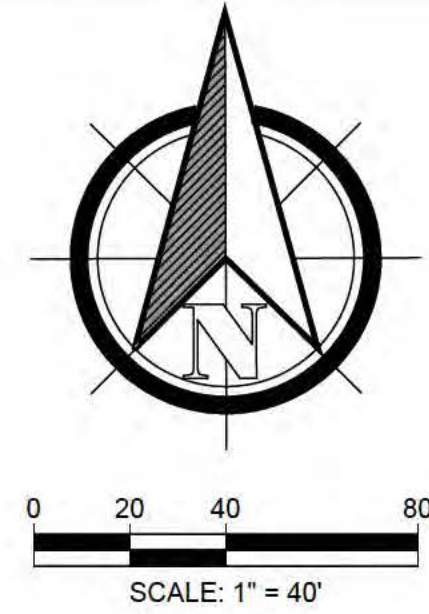
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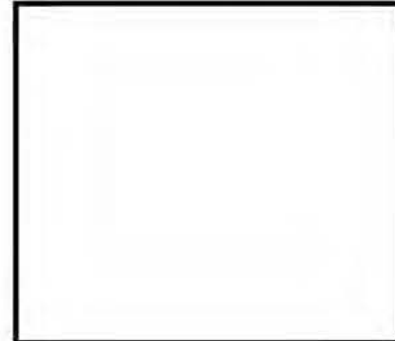


KEY MAP

STRUCTURE TABLE	
NAME:	DETAILS:
ST-5	P-6 Inlet RM = 123.22 NV OUT = 119.00
ST-6	18" MES NV N = 118.75

GRADE ELEVATION LEGEND	
XXX.XX	= PROPOSED GRADE / EDGE OF PAVEMENT
XXX.XX MES	= MATCH EXIST' NG GROUND
XXX.XX HP	= HIGH POINT

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GRADING & DRAINAGE PLAN 4

OSCEOLA POLK LINE RD, DAVENPORT, FL 33886

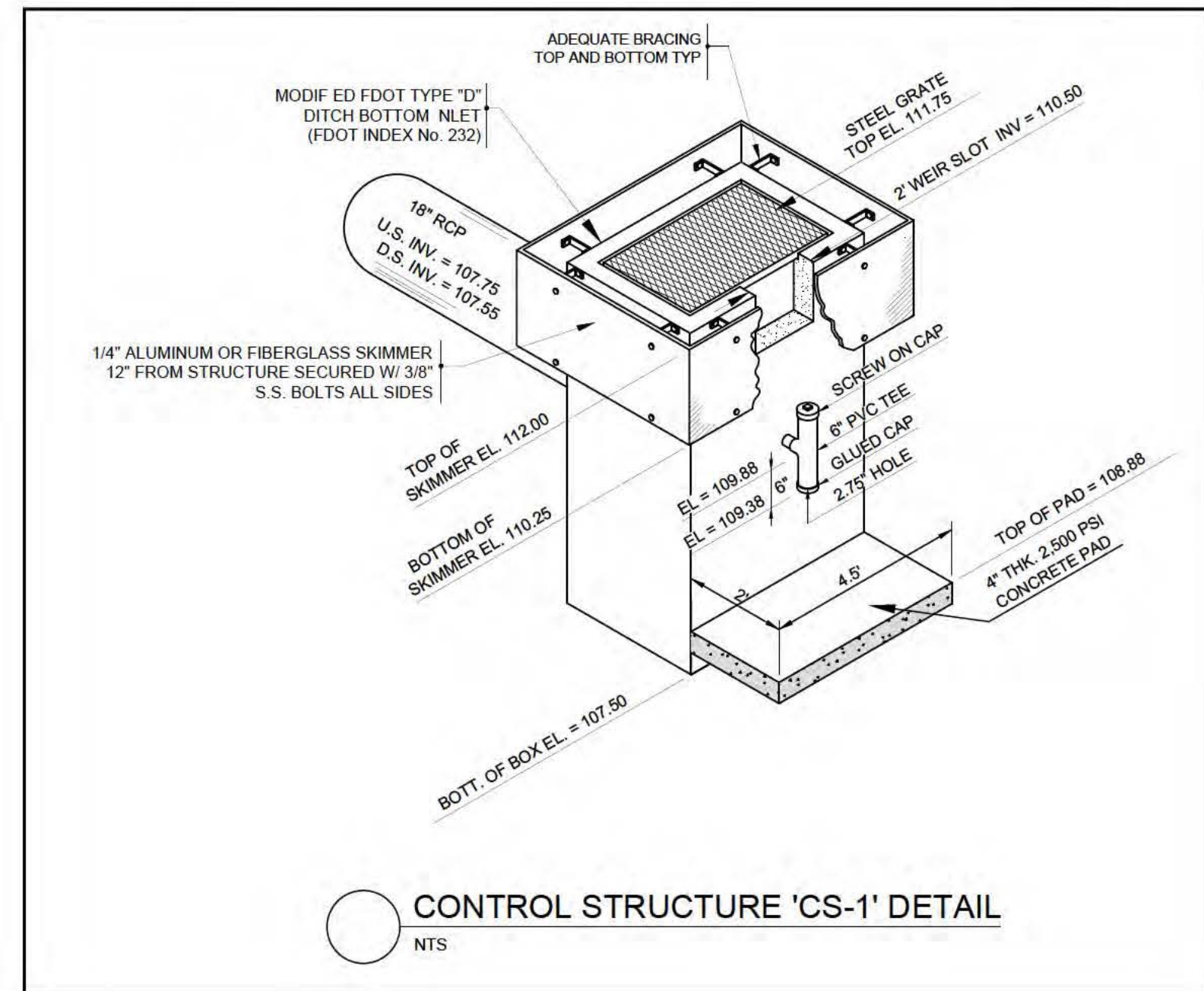
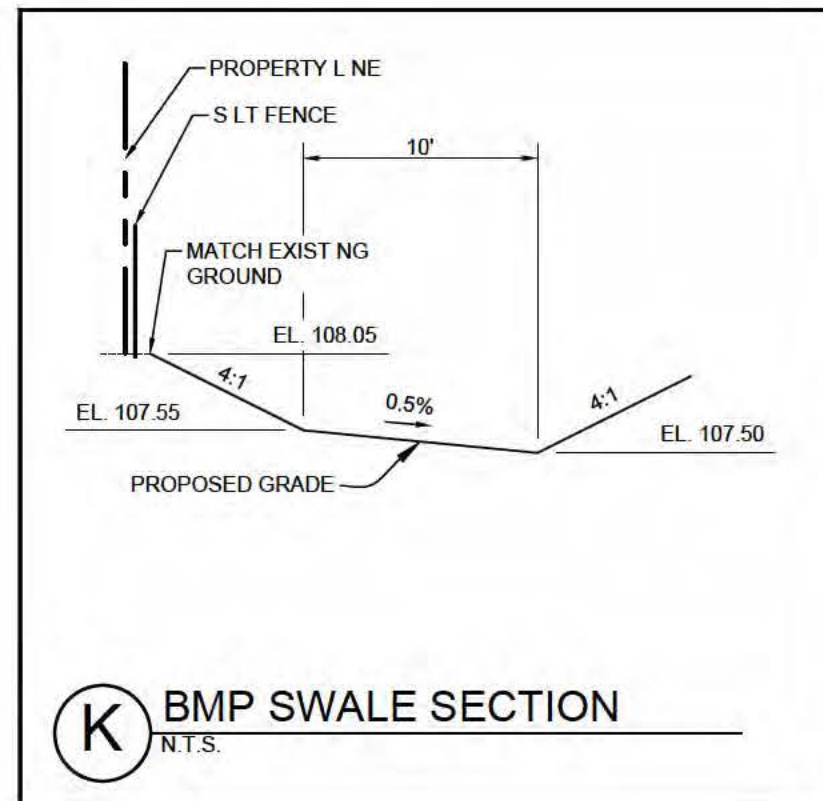
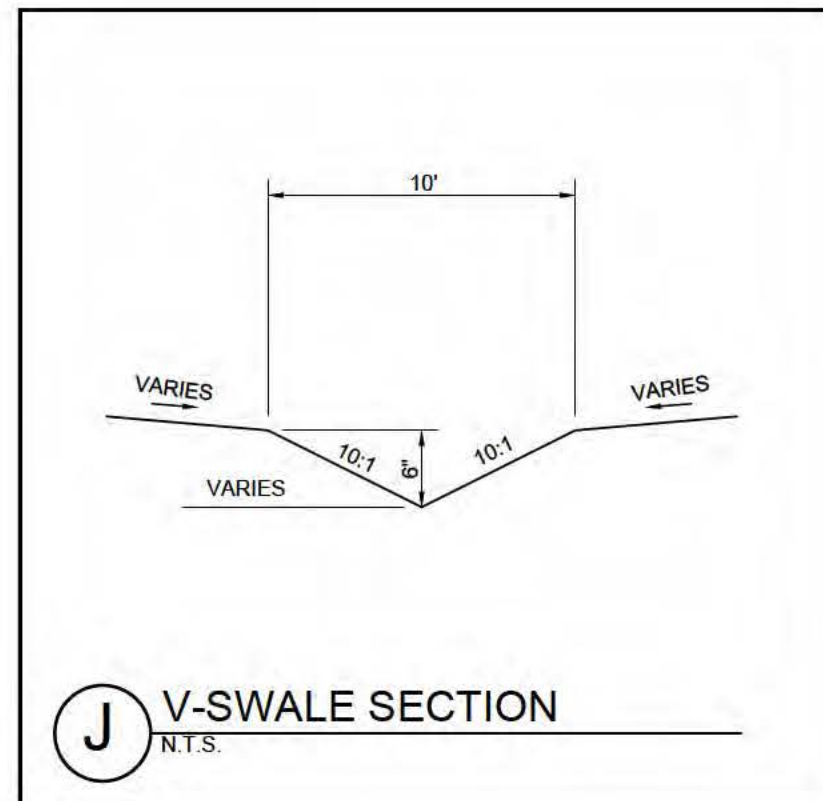
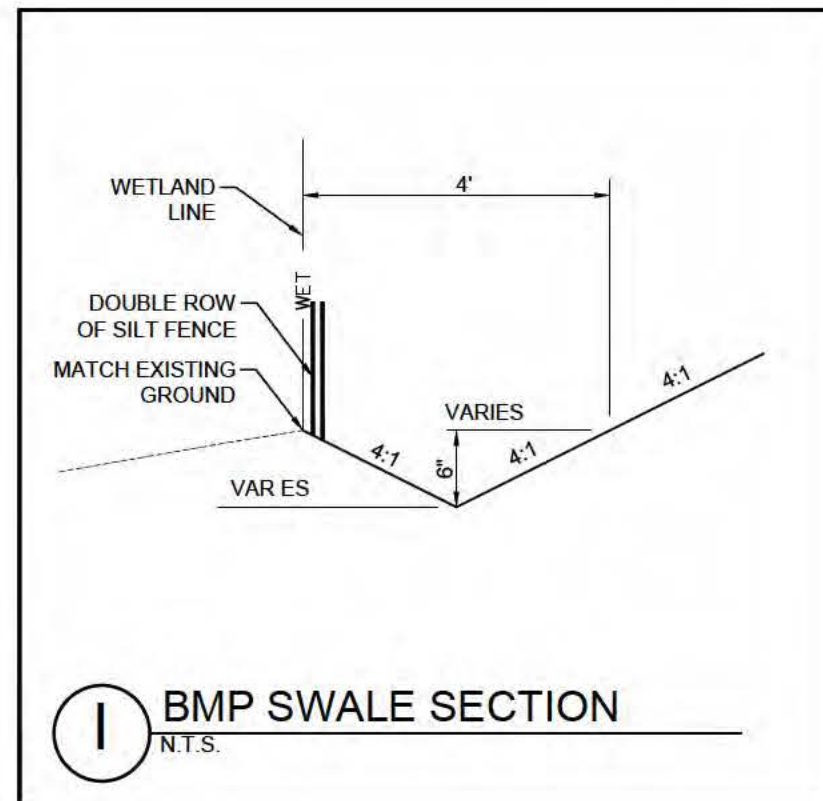
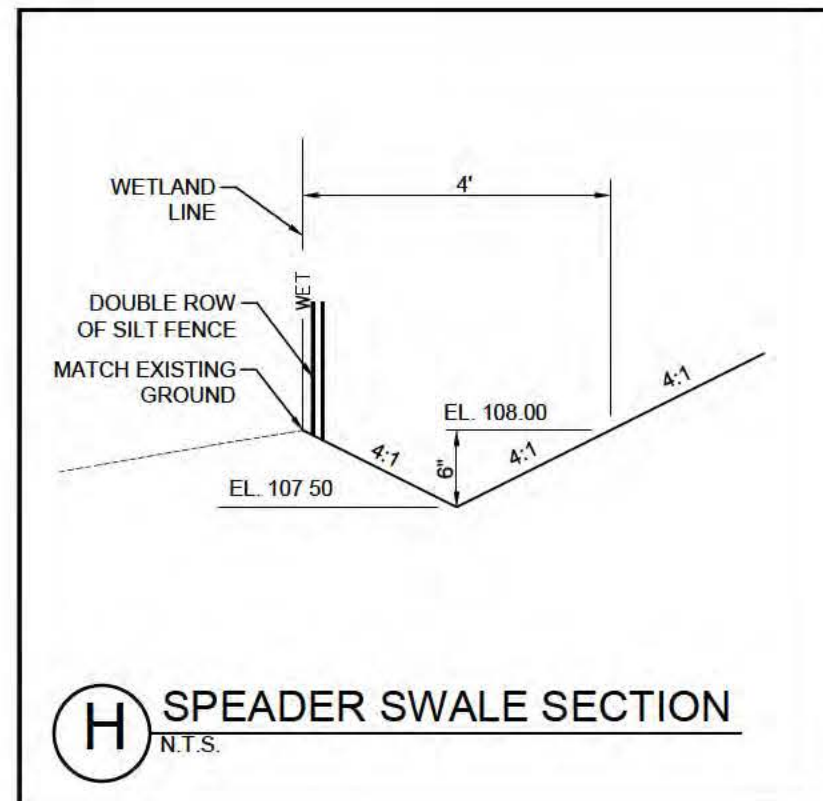
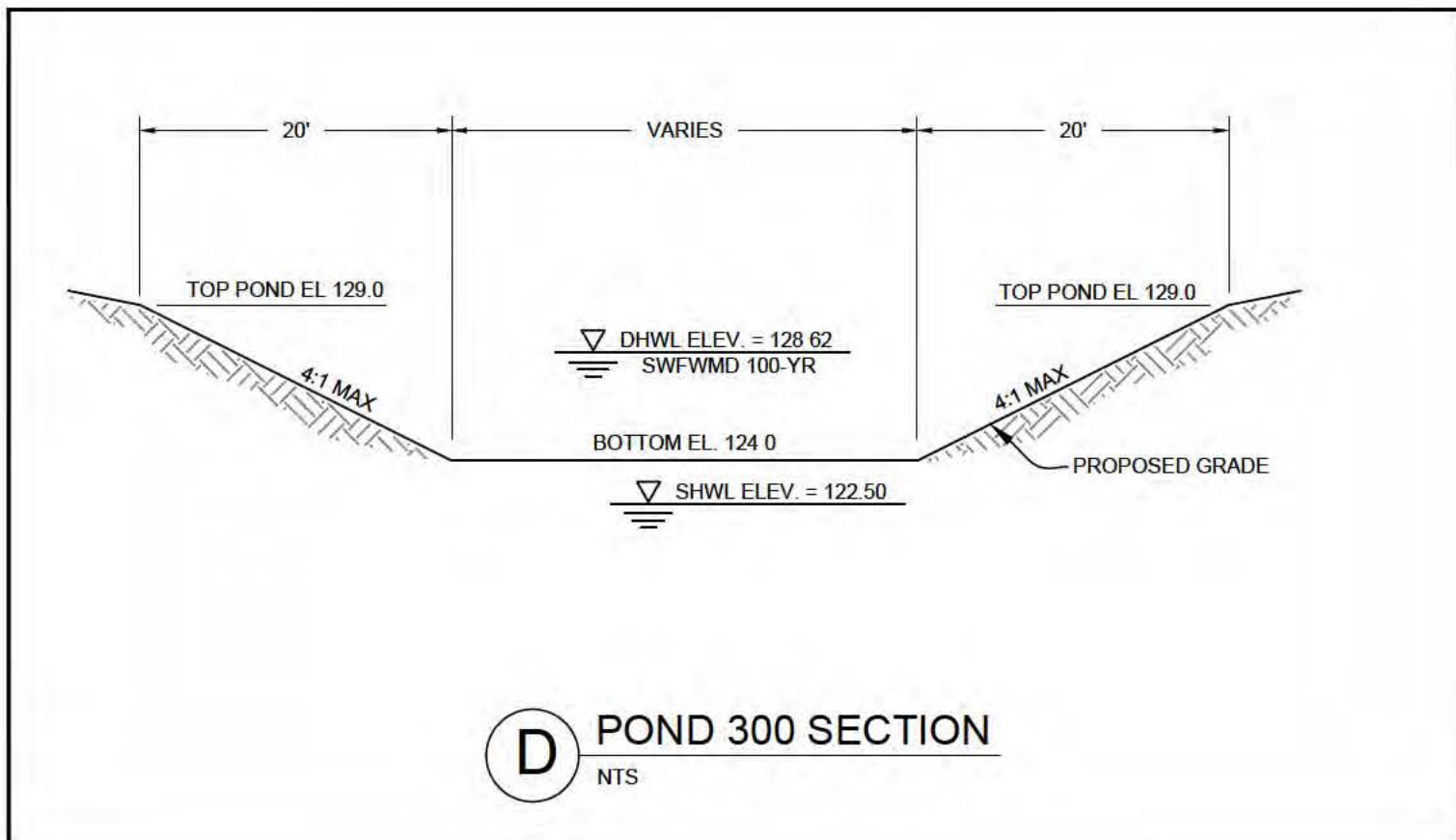
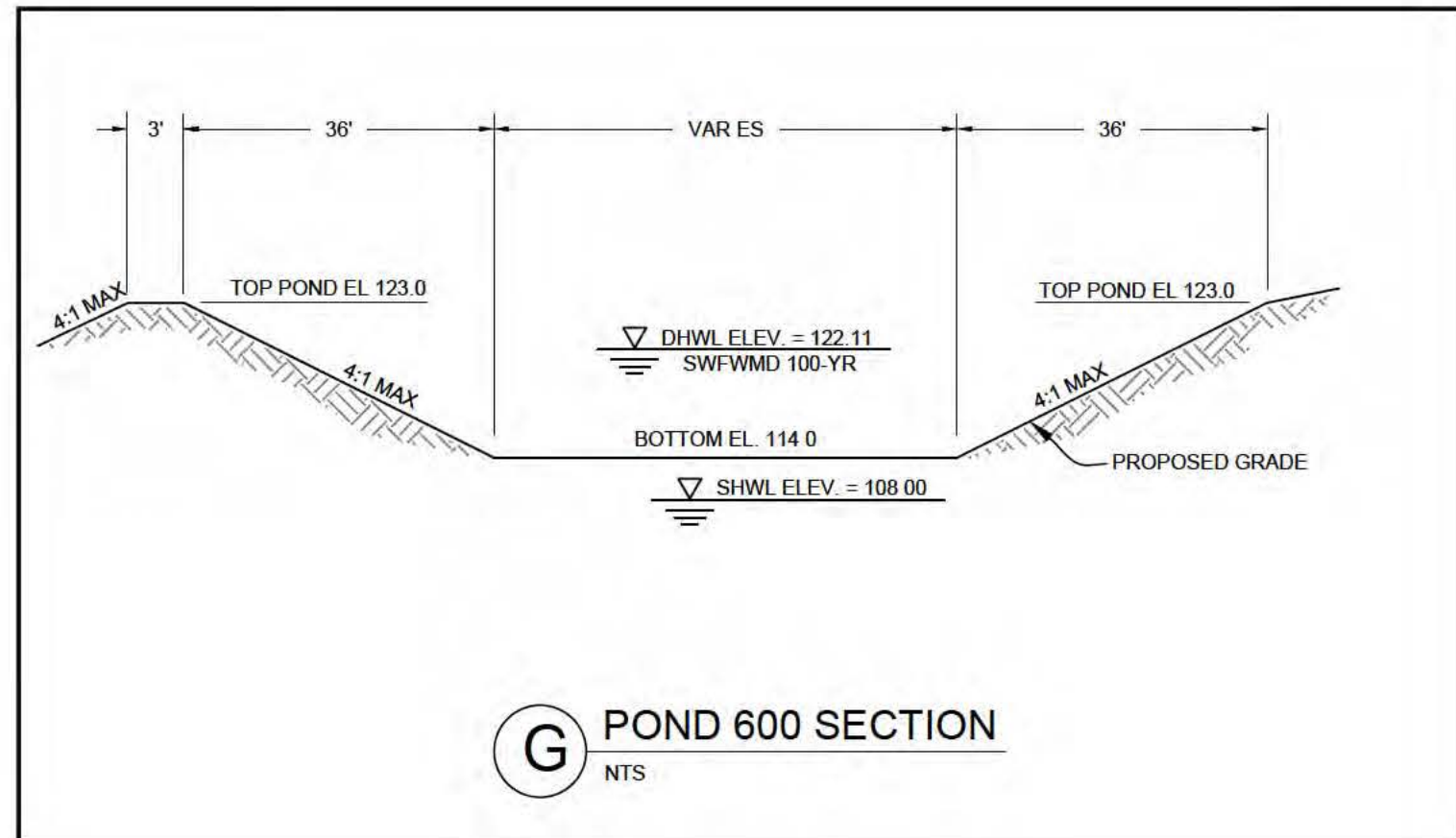
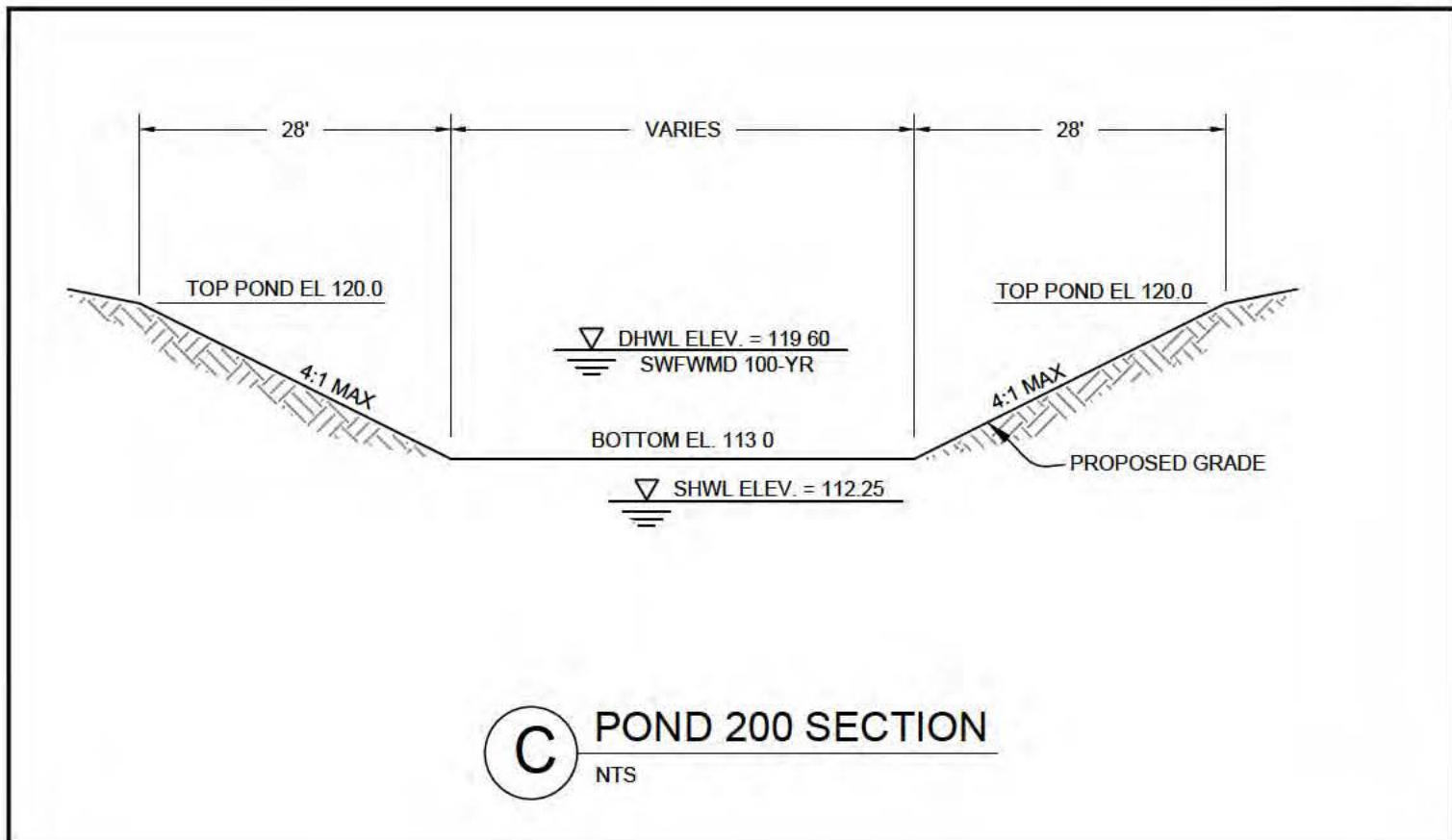
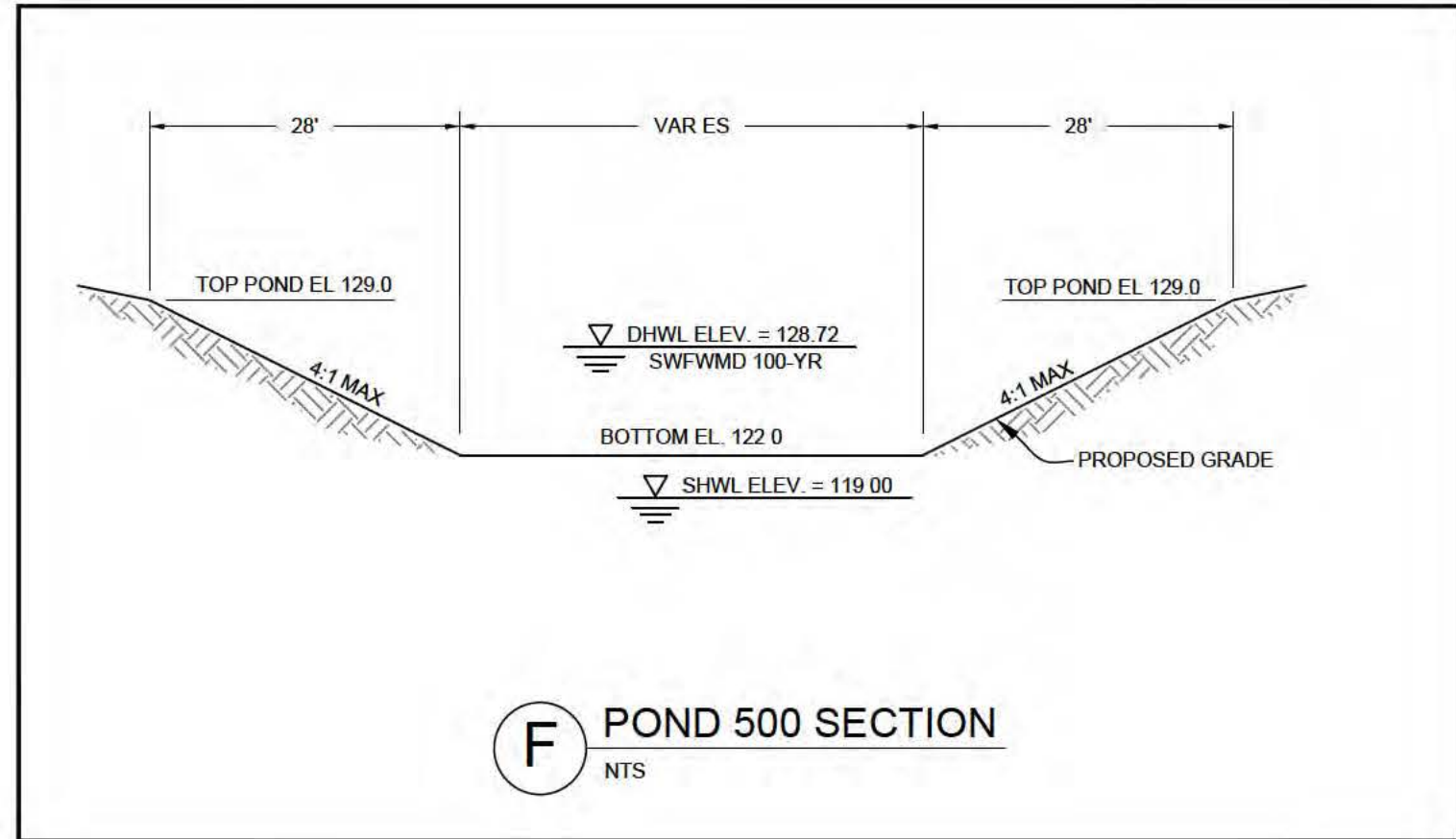
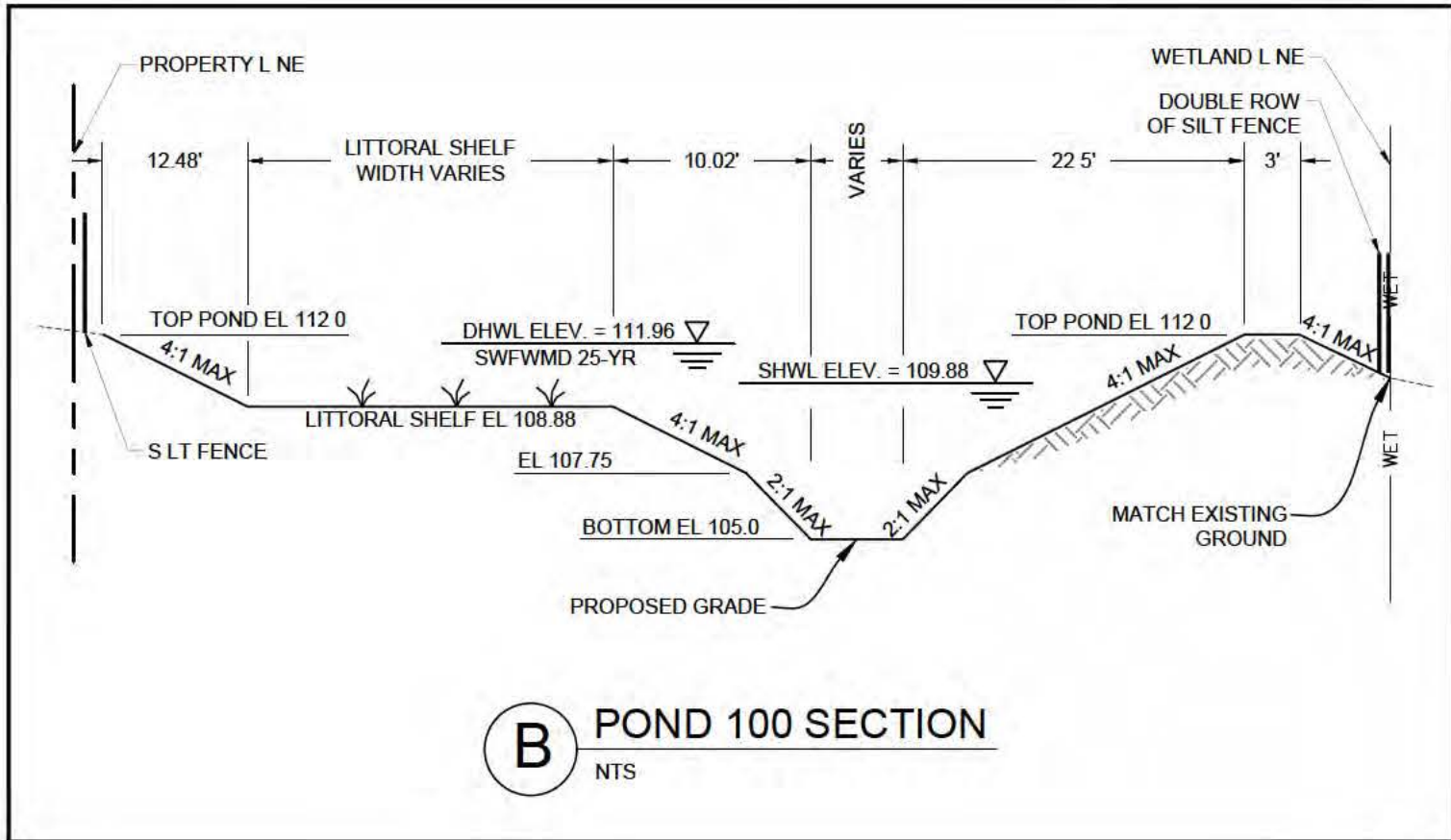
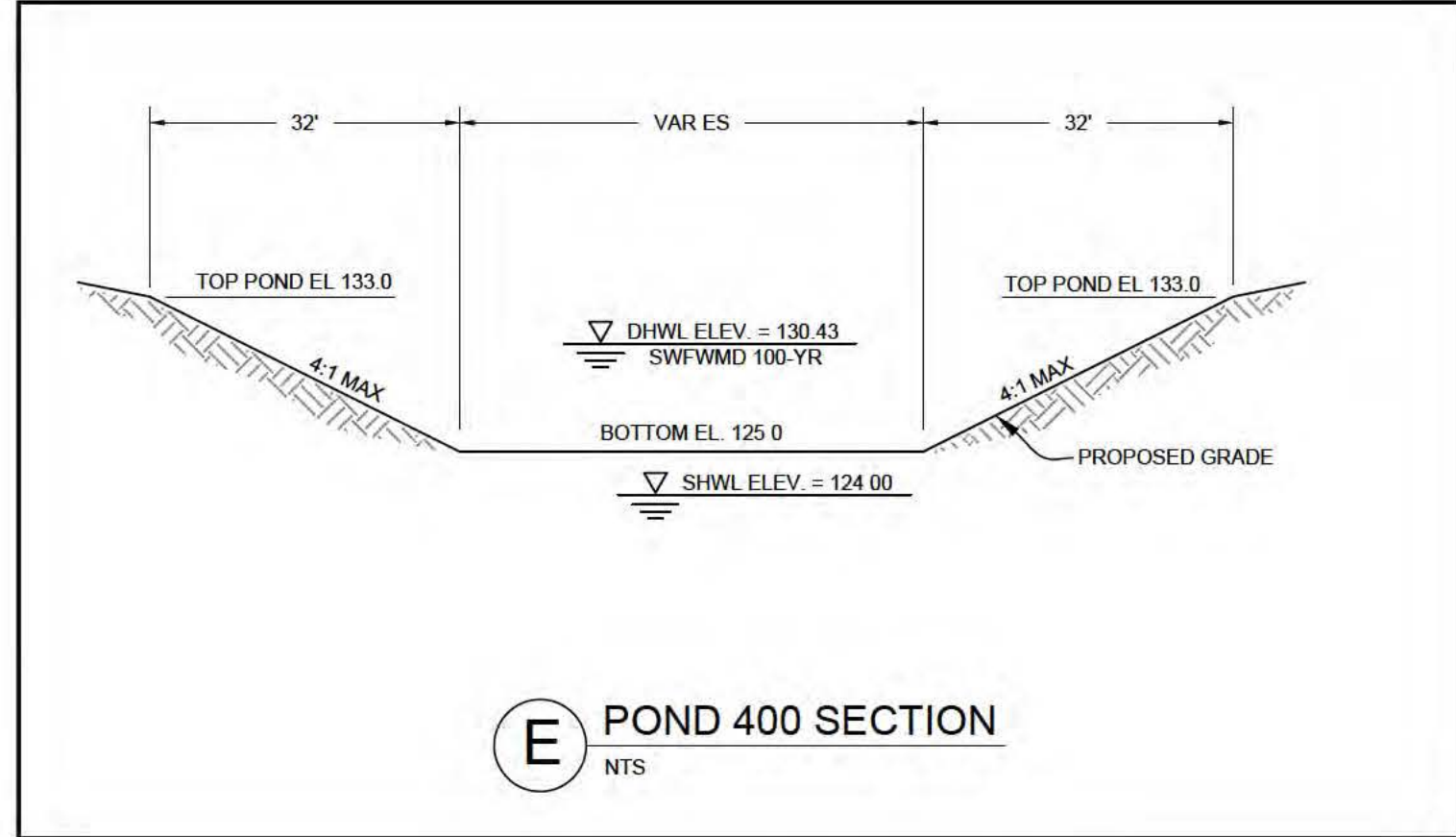
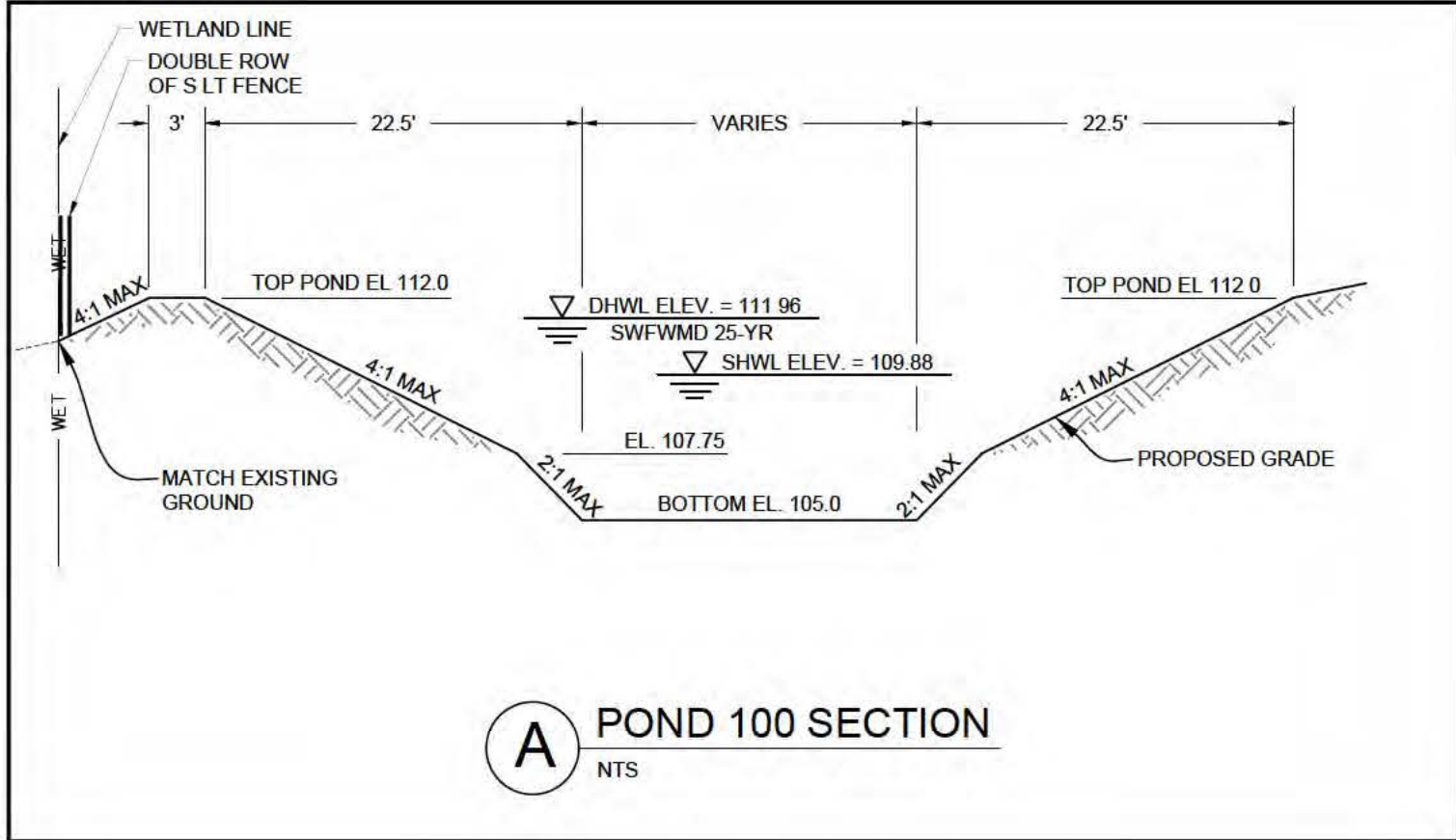
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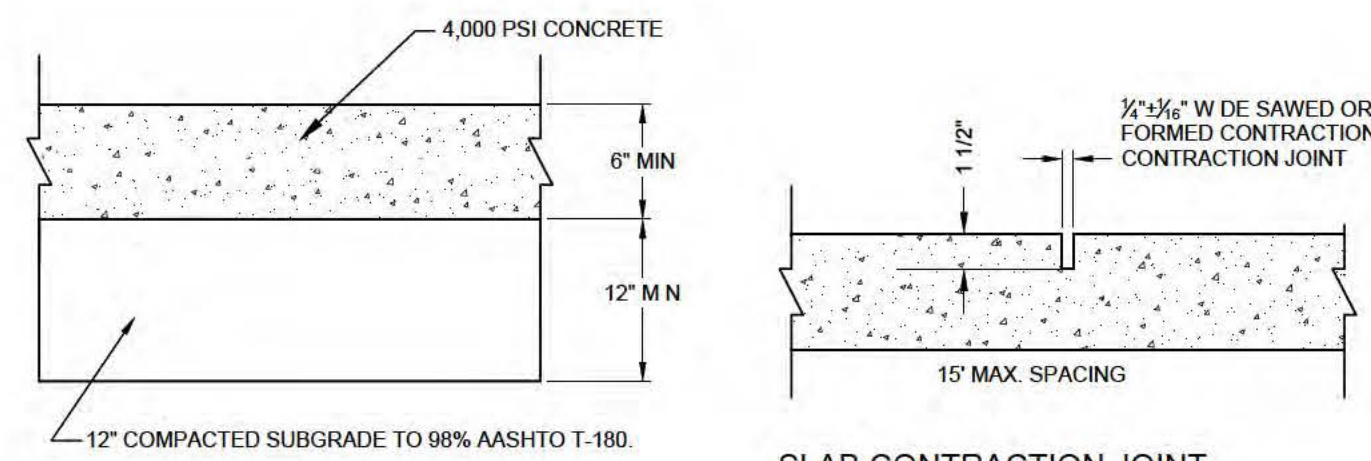
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**STORMWATER MANAGEMENT
DETAILS**
OSCEOLA POLK LINE RD, DAVENPORT, FL 33896

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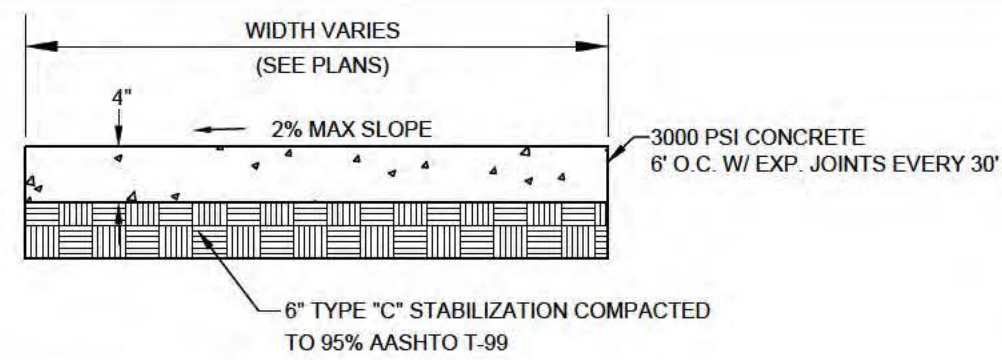


TYPICAL SLAB SECTION

CONCRETE PARKING, DRIVE, AND FIRE LANE NOTES:

1. CONCRETE SHALL HAVE A 4,000 PSI 28-DAY COMPRESSIVE STRENGTH. NO WWF TO BE INSTALLED WITHIN CITY OF LAKE LAND RIGHT OF WAY.
2. SUBGRADE SHALL BE UNIFORM IN SOIL TYPE, MOISTURE CONTENT, AND DENSITY AND SHOULD BE SMOOTH PRIOR TO INSTALLATION OF CONCRETE.
3. JOINTS SHOULD BE LAYED OUT IN SQUARE PANELS. WHEN THIS IS NOT PRACTICAL, RECTANGULAR PANELS CAN BE USED IF THE LONG DIMENSION IS NO MORE THAN 1-1/2 TIMES THE SHORT. MAX JOINT SPACING 15'.
4. EXPANSION JOINTS MUST BE USED WHEN NEW CONCRETE SLAB ABUTS EXISTING OR PROPOSED FEATURES OR WHEN THERE IS AN INTERRUPTION IN PAVING OPERATIONS, CLIMATIC CONDITIONS OR WHEN WORK IS STOPPED FOR ANY OTHER REASON.
5. CONTROL JOINTS SHOULD HAVE A DEPTH OF AT LEAST ONE-FORTH THE SLAB THICKNESS.
6. JOINTS SHALL BE FREE OF DEBRIS AND FILLED WITH AN APPROPRIATE FILLER.
7. CONCRETE SLAB SHALL BE PREPARED, FORMED, POURED AND CURED IN ACCORDANCE WITH ACI 330.
8. PROPOSED JOINT LAYOUT AND SPACING ARE INCLUDED AS AN AID TO CONTRACTOR FOR A POTENTIAL JOINT LAYOUT. CONTRACTOR MAY USE ALTERNATE JOINT LAYOUT BASED ON SITE CONDITIONS. IN EITHER CASE, CONTRACTOR SHALL SUBMIT A JOINT PLAN FOR APPROVAL TO OWNER PRIOR TO COMMENCEMENT OF WORK.
9. ALL SAWED OR TOOLED JOINTS SHALL BE SEALED WITH APPROPRIATE MATERIAL PER JOINT SEALER MANUFACTURER RECOMMENDATIONS.

PARKING SLAB SECTION AND SLAB CONTRACTION JOINT DETAIL
N.T.S.



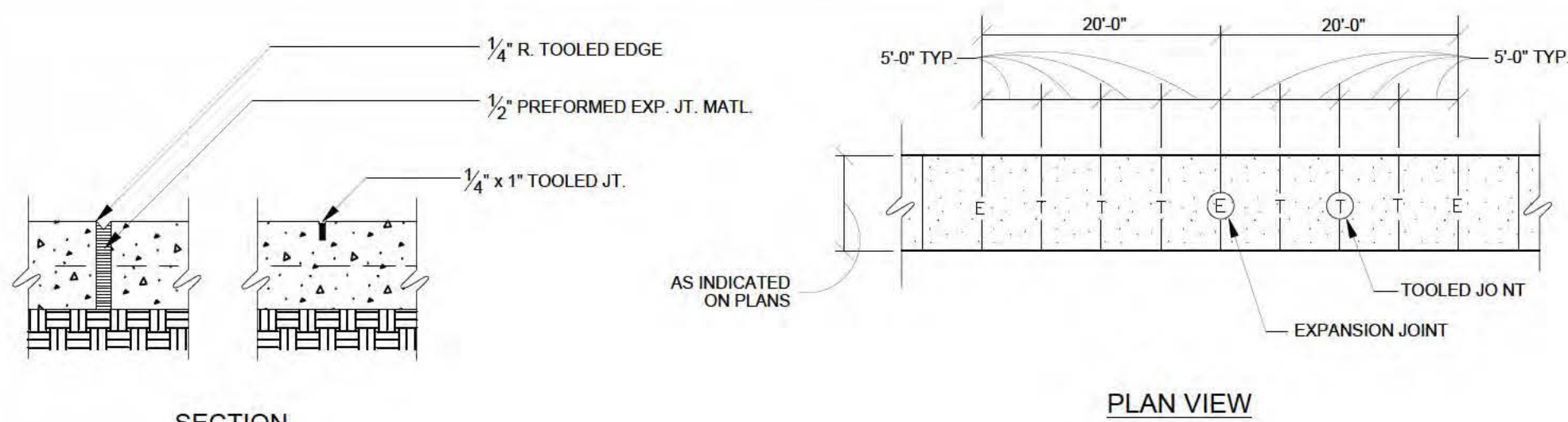
*NOTE: INSTALL 1/2" EXPANSION JOINT W/ PREFORMED FILLER 10' O.C.

STANDARD DETAIL

NOTES:

1. WHERE METAL TEMPLATES ARE USED FOR JOINT CONSTRUCTION, THE CURB AND CURB AND GUTTER SHALL BE CONSTRUCTED IN UNIFORM SECTIONS TEN FEET IN LENGTH, EXCEPT WHERE SHORTER SECTIONS ARE NECESSARY FOR CLOSURES, BUT NO SECTION SHALL BE LESS THAN FOUR FEET.
2. AT THE OPTION OF THE CONTRACTOR, THE SECTIONS MAY BE FORMED BY THE USE OF DUMMY JOINTS (EITHER FORMED OR SAWED) OR BY THE USE OF SHEET METAL TEMPLATES. IF SHEET METAL TEMPLATES ARE USED, THEY SHALL BE OF THE DIMENSIONS AND SHALL BE SET TO THE LINES SHOWN ON THE PLANS. THE TEMPLATES SHALL BE HELD FIRMLY DURING THE PLACING OF THE CONCRETE AND SHALL BE LEFT IN PLACE UNTIL THE CONCRETE HAS SET SUFFICIENTLY TO HOLD ITS SHAPE, BUT SHALL BE REMOVED WHILE THE FORMS ARE STILL IN PLACE.
3. DUMMY JOINTS SHALL BE SPACED AT INTERVALS OF TEN FEET FOR CURB AND INTERVALS OF FIVE FEET FOR SIDEWALKS. THEY SHALL BE 1/4 THE DEPTH OF THE CONCRETE. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALKS AT A MAXIMUM OF 30 FEET AT DRIVEWAYS, SIDEWALK INTERSECTION, ALL INLETS, ALL RADIUS POINTS, ALL POINTS WHERE OPERATIONS CEASE FOR ANY CONSIDERABLE TIME (SUCH AS THE END OF THE DAY'S RUN).

SIDEWALK DETAIL
N.T.S.



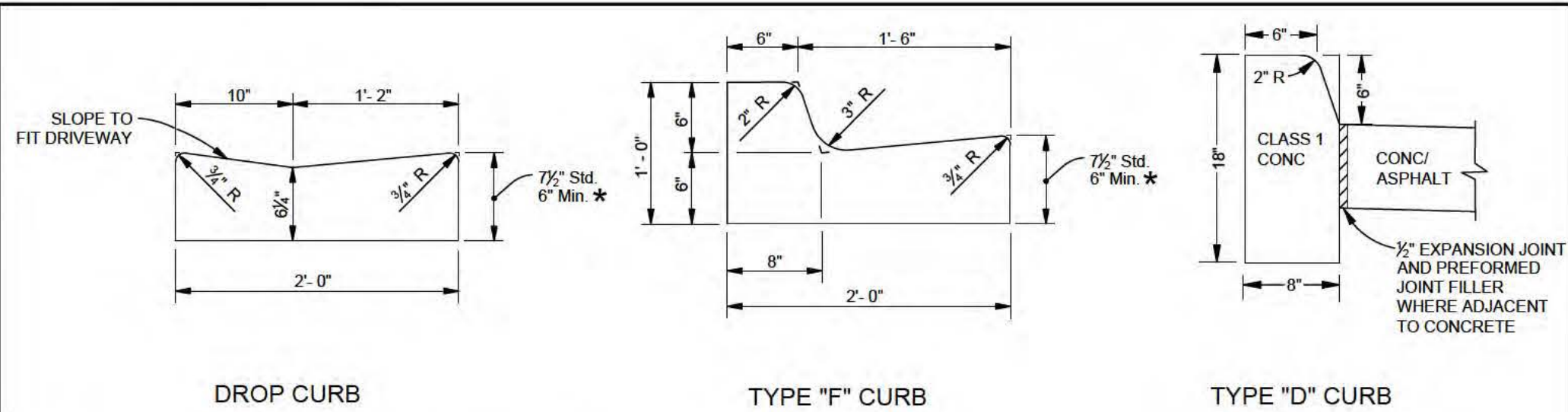
SECTION

PLAN VIEW

NOTES:

1. EXCEPT WHERE SHOWN ON THE PLANS, ALL NEW CONCRETE WALKS SHALL HAVE JOINTS SPACED AS SHOWN IN THESE DETAILS.
2. AN EXPANSION JOINT SHALL BE USED TO SEPARATE THE NEW CONCRETE WALK FROM OTHER NEW OR EXISTING CONCRETE CONSTRUCTION.

CONCRETE SIDEWALK JOINT DETAILS
N.T.S.

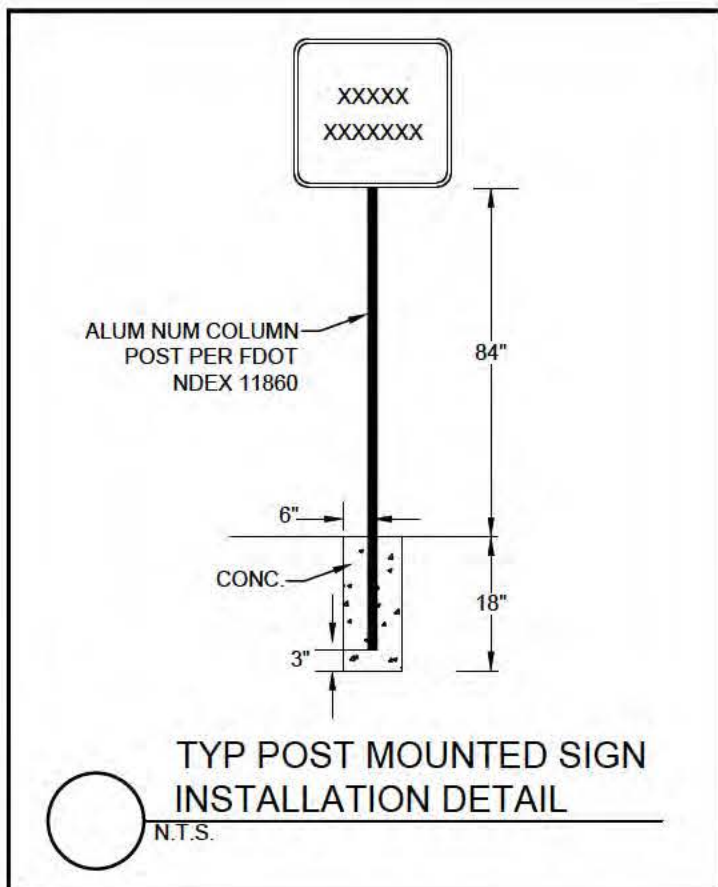


DROP CURB

TYPE "F" CURB

TYPE "D" CURB

CURB DETAILS (FDOT INDEX 300)
N.T.S.



TYP POST MOUNTED SIGN
INSTALLATION DETAIL
N.T.S.

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