



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
9900 SW 107TH AVENUE, SUITE 203
MIAMI, FL 33176

May 7, 2019

Regulatory Division
South Permits Branch
Miami Permits Section

PUBLIC NOTICE

Permit Application No. SAJ-2019-01212 (SP-JMH)

TO WHOM IT MAY CONCERN: The Jacksonville District of the U.S. Army Corps of Engineers (Corps) has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 U.S.C. §1344) as described below:

APPLICANT: Michael Miller
5 Del Mar Boulevard
Key West, FL 33040

WATERWAY AND LOCATION: The project would affect waters of the United States associated with the Atlantic Ocean. The project site is located at an undeveloped lot on 3rd Avenue; legally described as Bk 53 Lt 11 Stock Island Maloney Sub Subdivision PB1-55, Key West, Florida 33040 (RE# 00126700-000000).

Directions to the site are as follows: Take U.S. 1 South to MM 5; Turn left onto 5th Street; Turn right onto 3rd Avenue; Project is located on the left at the intersection of 3rd Avenue and 6th Street.

APPROXIMATE CENTRAL COORDINATES: Latitude 24.569707°
Longitude -81.742344°

PROJECT PURPOSE:

Basic: The basic project purpose is to construct a commercial multi-family residence with associated infrastructure.

Overall: The overall purpose is for the development of a commercial multi-family residence and associated infrastructure in Key West, Monroe County, Florida.

EXISTING CONDITIONS: The property is located within a partially developed subdivision of Key West. The property is situated between a paved road, an undeveloped wetland lot, and two developed lots. The subject 0.17 acre parcel is a partially wetland lot with 0.09 acres of disturbed wetland vegetation and a 0.08 acre area of disturbed uplands.

PROPOSED WORK: The applicant seeks authorization to place a total of 7,500 square feet (445 cubic yards) of fill for the construction of a multi-family commercial residential

structure and associated infrastructure, to install 145 linear feet of 0.7 foot wide concrete retaining wall (9.31 cubic yards of material) along the length of the west property line, and to install temporary filter fencing to isolate the construction site from the adjacent wetlands.

AVOIDANCE AND MINIMIZATION INFORMATION – The applicant has provided the following information in support of efforts to avoid and/or minimize impacts to the aquatic environment: Silt fences will be installed around the perimeter of the work to isolate the construction site from the adjacent wetlands.

COMPENSATORY MITIGATION – The applicant has offered the following compensatory mitigation plan to offset unavoidable functional loss to the aquatic environment: The applicant proposed to compensate for unavoidable wetland impacts through a mitigation program, payment into the Keys Restoration Fund. The amount of mitigation will be ultimately determined via UMAM (attached) as established by the USACE permitting process.

CULTURAL RESOURCES:

The Corps is not aware of any known historic properties within the permit area. By copy of this public notice, the Corps is providing information for review. Our final determination relative to historic resource impacts is subject to review by and coordination with the State Historic Preservation Officer and those federally recognized tribes with concerns in Florida and the Permit Area.

ENDANGERED SPECIES:

The U.S. Army Corps of Engineers (Corps) has determined the project will have no effect on the West Indian manatee (*Trichechus manatus*) or its designated critical habitat. Use of the Key resulted in the sequence A > *no effect*. This determination was based on the work being conducted outside of waters accessible to the West Indian manatee. The Corps has concurrence with this determination pursuant to the Effect Determination Key for the manatee dated April 2013.

The U.S. Army Corps of Engineers (Corps) has determined the project *may affect, but is not likely to adversely affect* (“MANLAA”) the American crocodile (*Crocodylus acutus*). The project site is located within American crocodile (*Crocodylus acutus*) consultation area but is not immediately adjacent or contiguous to waters accessible to the crocodile. Using the 28 October 2014 American Crocodile Key resulted in the sequence #1 *may affect, not likely to adversely affect*. Therefore, the Corps has reached a “may affect not likely to adversely affect” determination on the American crocodile and its suitable nesting habitat. No further consultation with the FWS is required.

The real estate parcel number is 00126700-000000 and **is** on the U.S. Fish and Wildlife Service Suitable Habitat List, dated August 2010, for Monroe County for the following species: the Eastern Indigo snake (*Drymarchon corais couperi*) Focus Area.

The subject parcel is listed on the FWS 2011 Suitable Habitat List as being located within the focus area for the eastern indigo snake (*Drymarchon corais couperi*). Potential impacts to the aforementioned species and its habitat were evaluated using the eastern indigo snake key (key) dated 1 August 2017. Use of the key resulted in the following sequential determination: A > B > C > D (1), “*may affect, not likely to adversely affect (MANLAA)*” for the snake. This determination is partially based on the project being conditioned for use of the Service’s *Standard Protection Measures for The Eastern Indigo Snake* during site preparation and project construction. Therefore, no incidental take will occur, and no further consultation with the FWS is required.

The Corps has determined the proposed project will have *no effect* on the swimming green sea turtles (*Chelonia mydas*), loggerhead sea turtles (*Caretta caretta*) and their designated critical habitat, hawksbill sea turtles (*Eretmochelys imbricata*), kemp’s ridley sea turtles (*Lepidochelys kempii*), leatherback sea turtles (*Dermochelys coriacea*), the smalltooth sawfish (*Pristis pectinata*) and its designated critical habitat, *Acorpora* sp. and its designated critical habitat, and listed corals species (*Dendrogyra cylindrus*, *Orbicella annularis*, *Orbicella faveolata*, *Orbicella franksi*, *Mycetophyllia ferox*). The National Marine Fisheries Service’s has given concurrence with this determination pursuant to Section 7 of the Endangered Species Act and no further consultation is required.

ESSENTIAL FISH HABITAT (EFH): This notice initiates consultation with the National Marine Fisheries Service on EFH as required by the Magnuson-Stevens Fishery Conservation and Management Act 1996. The proposal would impact approximately 0.09 acres of wetlands utilized by various life stages of marine species. Our initial determination is that the proposed action would not have a substantial adverse impact on EFH or Federally managed fisheries in the Florida Keys. Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

NOTE: This public notice is being issued based on information furnished by the applicant. This information has not been verified or evaluated to ensure compliance with laws and regulation governing the regulatory program. The jurisdictional line has not been verified by Corps personnel.

AUTHORIZATION FROM OTHER AGENCIES: Water Quality Certification may be required from the Florida Department of Environmental Protection and/or one of the state Water Management Districts.

COMMENTS regarding the potential authorization of the work proposed should be submitted in writing to the attention of the District Engineer through the Miami Permits Section, 9900 SW 107th Avenue, Suite 203, Miami, Florida 33176 within 21 days from the date of this notice.

The decision whether to issue or deny this permit application will be based on the information received from this public notice and the evaluation of the probable impact to the associated wetlands. This is based on an analysis of the applicant's avoidance and minimization efforts for the project, as well as the compensatory mitigation proposed.

QUESTIONS concerning this application should be directed to the project manager, Jessica Hogan, in writing at the Miami Permits Section, 9900 SW 107th Avenue, Suite 203, Miami, Florida 33176; by electronic mail at Jessica.M.Hogan@usace.army.mil; by facsimile transmission at (305) 526-7184; or, by telephone at (305) 779-6052.

IMPACT ON NATURAL RESOURCES: Coordination with U.S. Fish and Wildlife Service, Environmental Protection Agency (EPA), the National Marine Fisheries Services, and other Federal, State, and local agencies, environmental groups, and concerned citizens generally yields pertinent environmental information that is instrumental in determining the impact the proposed action will have on the natural resources of the area.

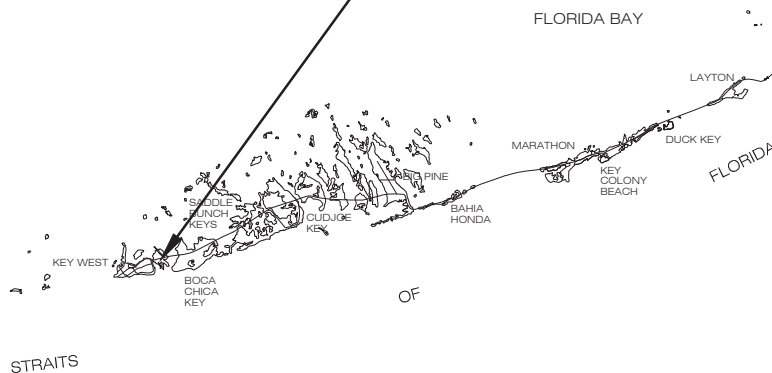
EVALUATION: The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits, which reasonably may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including cumulative impacts thereof; among these are conservation, economics, esthetics, general environmental concerns, wetlands, historical properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food, and fiber production, mineral needs, considerations of property ownership, and in general, the needs and welfare of the people. Evaluation of the impact of the activity on the public interest will also include application of the guidelines promulgated by the Administrator, EPA, under authority of Section 404(b) of the Clean Water Act or the criteria established under authority of Section 102(a) of the Marine Protection Research and Sanctuaries Act of 1972. A permit will be granted unless its issuance is found to be contrary to the public interest.

The US Army Corps of Engineers (Corps) is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other Interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps to determine whether to issue, modify, condition, or deny a permit for this proposal. To make this determination, comments are used to assess impacts to endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

COASTAL ZONE MANAGEMENT CONSISTENCY: In Florida, the State approval constitutes compliance with the approved Coastal Zone Management Plan. In Puerto

Rico, a Coastal Zone Management Consistency Concurrence is required from the Puerto Rico Planning Board. In the Virgin Islands, the Department of Planning and Natural Resources permit constitutes compliance with the Coastal Zone Management Plan.

REQUEST FOR PUBLIC HEARING: Any person may request a public hearing. The request must be submitted in writing to the District Engineer within the designated comment period of the notice and must state the specific reasons for requesting the public hearing.



SITE DATA

<u>OWNER</u>	MICHAEL MILLER
<u>RE#</u>	00126700-000000
<u>SEC/TWN/RNG</u>	35 / 67S / 25E
<u>LEGAL DESC</u>	BK 53 LT 11 STOCK ISLAND MALONEY SUB SUBDIVISION PB1-55
<u>COORDINATES</u>	LAT 24.569707° LON -81.742344°

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE, AND THE NATIONAL ELECTRIC CODE.

THE FOLLOWING LOADINGS WERE USED:
WIND LOAD: 180 MPH; ASCE 7-10; EXPOSURE D

FEMA FLOOD ZONE (2005): AE-8

INDEX OF DRAWINGS

SHEET C-1.0 - SITE LOCATION AND DATA
SHEET C-2.0 - EXISTING CONDITIONS
SHEET C-3.0 - PROPOSED SITE PLAN
SHEET C-4.0 - DETAILS / SECTIONS
SHEET C-5.0 - EROSION CONTROL PLAN
SHEET C-6.0 - CONSTRUCTION NOTES & SPECIFICATIONS

GENERAL NOTES

1. THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK. PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2017 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2017 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO THE CONTRACTOR'S APPROVAL OF FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL, OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
14. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.
15. PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.

DIRECTIONS

1. TAKE U.S. HIGHWAY 1 SOUTH TOWARD KEY WEST.
2. TURN LEFT ONTO 5th ST. AT APPROXIMATELY MILE MARKER 5.
3. TURN RIGHT ONTO 3rd AVE. AFTER APPROXIMATELY 0.3 MILES.
4. PROPERTY IS APPROXIMATELY 500 FT AHEAD ON THE LEFT AT THE END OF 3rd AVE.

ADJOINING PROPERTY OWNERS MAILING ADDRESS

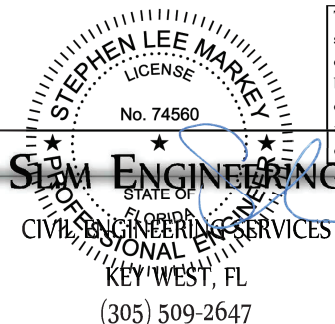
TO THE WEST:
NORVIN MALONEY JR. & MARY MALONEY
12 NORTH PL.
NEWARK, DE 19711

TO THE EAST:
5312 3RD AVENUE, LLC
24 HILTON HAVEN RD
KEY WEST, FL 33040

TO THE SOUTH:
JOSE RODRIGUEZ REVOCABLE TRUST
1019 GRINNEL ST.
KEY WEST, FL 33040

SCOPE OF WORK

- FILL A DISTURBED WETLAND AREA IN ORDER TO CONSTRUCT TWO (2) NEW RESIDENTIAL EMPLOYEE HOUSING UNITS OVER COMMERCIAL USE, A DRIVEWAY, AND A CONCRETE PARKING AREA.
- CONSTRUCT A CONCRETE WALL ON THE WEST SIDE OF THE PROPERTY, TO RETAIN FILL.



This item has been digitally signed and sealed by Stephen L. Markey, P.E., using a digital signature.
Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

PLANS NOT VALID
FOR
CONSTRUCTION
UNLESS SIGNED
AND SEALED IN
THIS BLOCK
January 30, 2019

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

SHEET TITLE:

SITE LOCATION &
DATA

DRAWN BY: SLM	PROJECT NO: 18-61
REVIEWED BY: SLM	SCALE: AS NOTED

CAD FILE:
Miller Property Fill (01-30-19).dwg

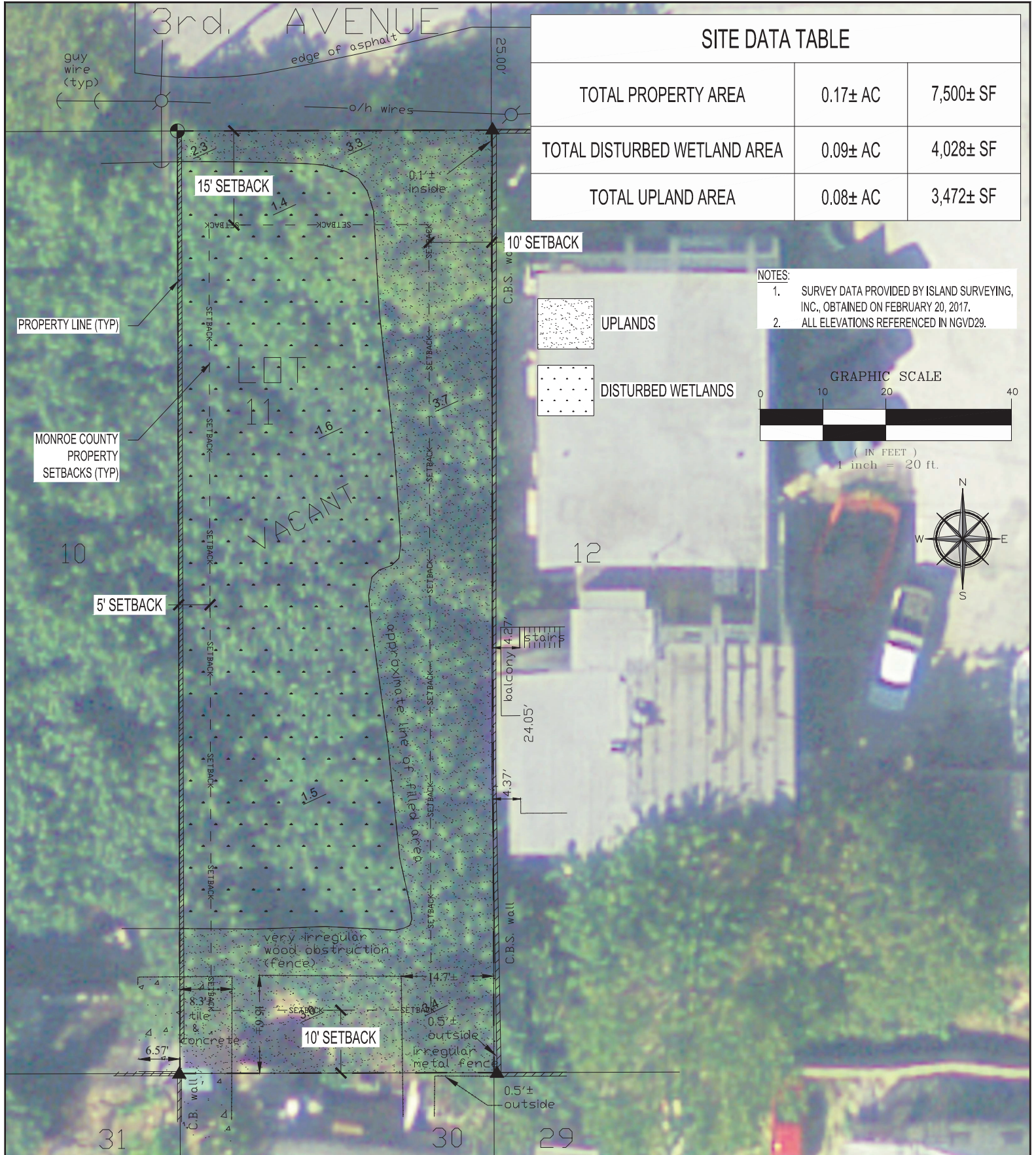
SHEET SIZE:
ANSI A (8½ x 11)

SHEET NUMBER:
C-1.0
SHEET 1 OF 6

MILLER PROPERTY - RES. EMPLOYEE
HOUSING / COMMERCIAL USE PROJECT

LOT 11, 3rd AVE.
STOCK ISLAND, FL 33040

CERTIFICATE OF AUTHORIZATION #30200



SITE DATA TABLE

TOTAL PROPERTY AREA	0.17± AC	7,500± SF
TOTAL DISTURBED WETLAND AREA	0.09± AC	4,028± SF
TOTAL UPLAND AREA	0.08± AC	3,472± SF

NOTES:

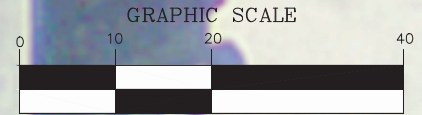
1. SURVEY DATA PROVIDED BY ISLAND SURVEYING, INC., OBTAINED ON FEBRUARY 20, 2017.
2. ALL ELEVATIONS REFERENCED IN NGVD29.



UPLANDS



DISTURBED WETLANDS



(IN FEET)
1 inch = 20 ft.



SHEET TITLE:
EXISTING
CONDITIONS

DRAWN BY:
SLM
REVIEWED BY:
SLM

PROJECT NO:
18-61
SCALE:
AS NOTED

CAD FILE:
Miller Property Fill (01-30-19).dwg
SHEET SIZE:
ANSI A (8½ x 11)

SHEET NUMBER:
C-2.0
SHEET 2 OF 6

**MILLER PROPERTY - RES. EMPLOYEE
HOUSING / COMMERCIAL USE PROJECT**

LOT 11, 3rd AVE.
STOCK ISLAND, FL 33040

SLIM ENGINEERING INC.

CIVIL ENGINEERING SERVICES

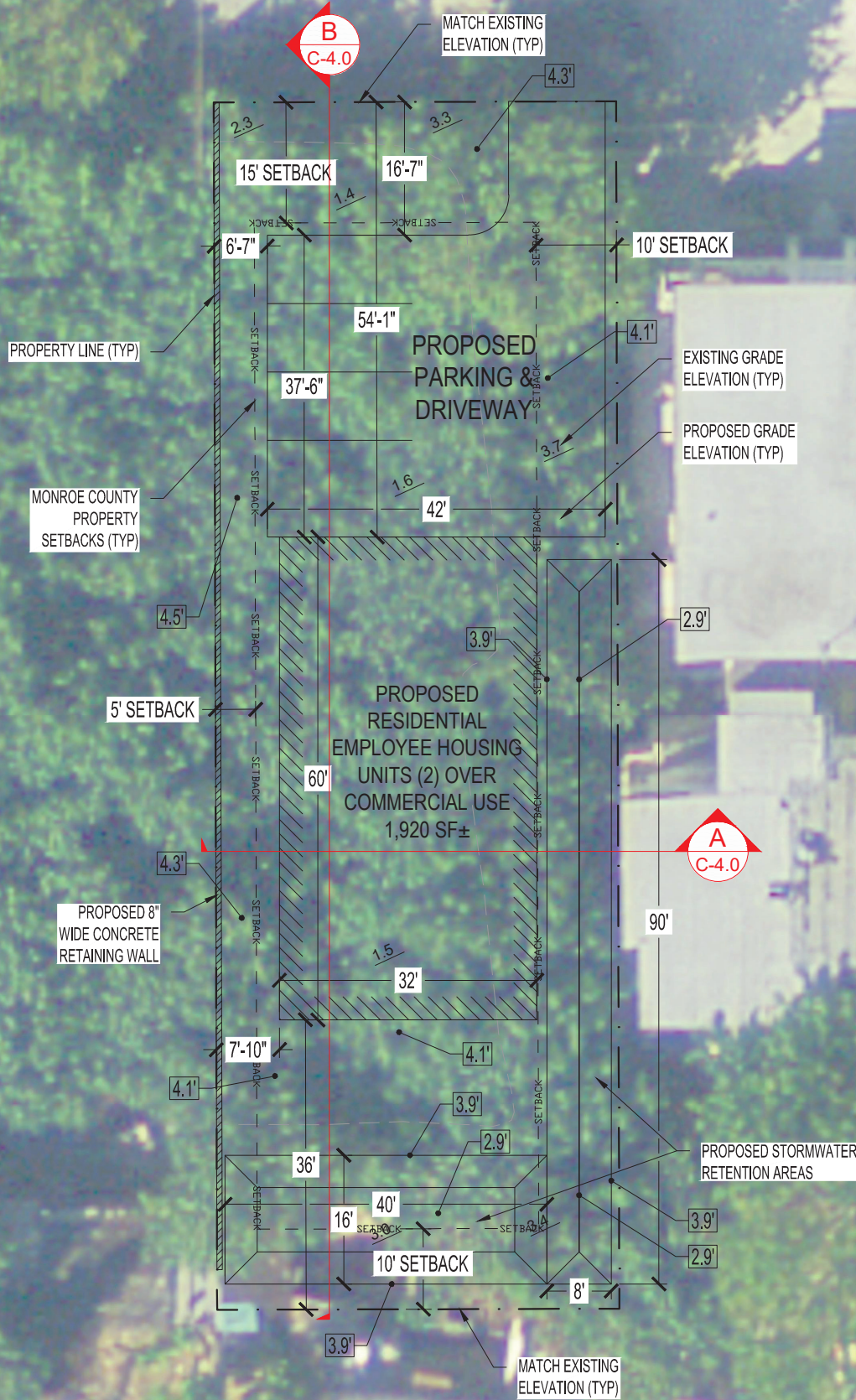
KEY WEST, FL
(305) 509-2647

CERTIFICATE OF AUTHORIZATION #30200

PLANS NOT VALID
FOR
CONSTRUCTION
UNLESS SIGNED
AND SEALED IN
THIS BLOCK

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

3rd. AVENUE



SITE DATA TABLE	
TOTAL PROPERTY AREA:	0.17± AC (7,500± SF)
IMPACTS	
DISTURBED WETLAND AREA:	4,028± SF
TOTAL IMPACTS:	4,028± SF
FILL AREA / VOLUMES	
RETAINING WALL LENGTH:	145± LF
RETAINING WALL VOLUME:	9.31± CY
LIMEROCK FILL VOLUME:	445± CY

NOTES:

1. SURVEY DATA PROVIDED BY ISLAND SURVEYING, INC., OBTAINED ON FEBRUARY 20, 2017.
2. ALL ELEVATIONS REFERENCED IN NGVD29.

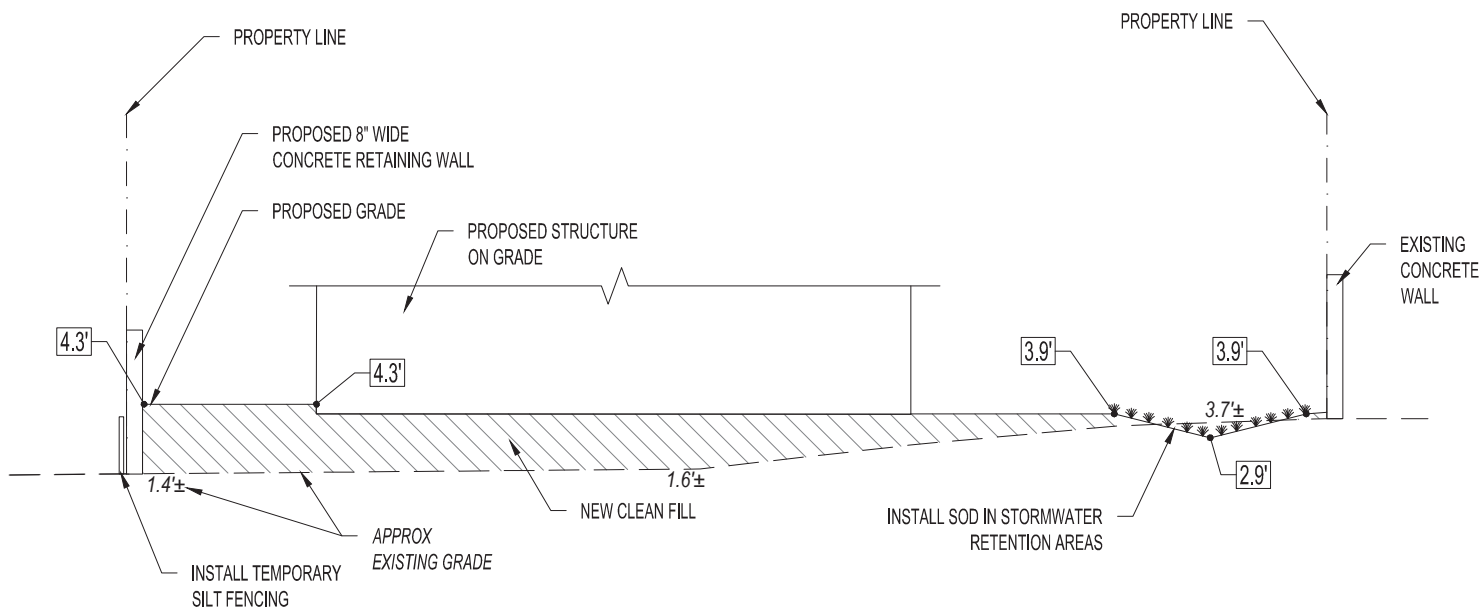
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



SHEET TITLE: PROPOSED SITE PLAN	DRAWN BY: SLM	PROJECT NO.: 18-61	CAD FILE: Miller Property Fill (01-30-19).dwg	SLIM ENGINEERING INC. CIVIL ENGINEERING SERVICES KEY WEST, FL (305) 509-2647 CERTIFICATE OF AUTHORIZATION #30200	PLANS NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK STEPHEN L. MARKEY PROFESSIONAL ENGINEER LICENSE NO. 74560 STATE OF FLORIDA
SHEET NUMBER: C-3.0 SHEET 3 OF 6	REVIEWED BY: SLM	SCALE: AS NOTED	SHEET SIZE: ANSI A (8½ x 11)		
MILLER PROPERTY - RES. EMPLOYEE HOUSING / COMMERCIAL USE PROJECT LOT 11, 3rd AVE. STOCK ISLAND, FL 33040					
DATE: JANUARY 30, 2019					

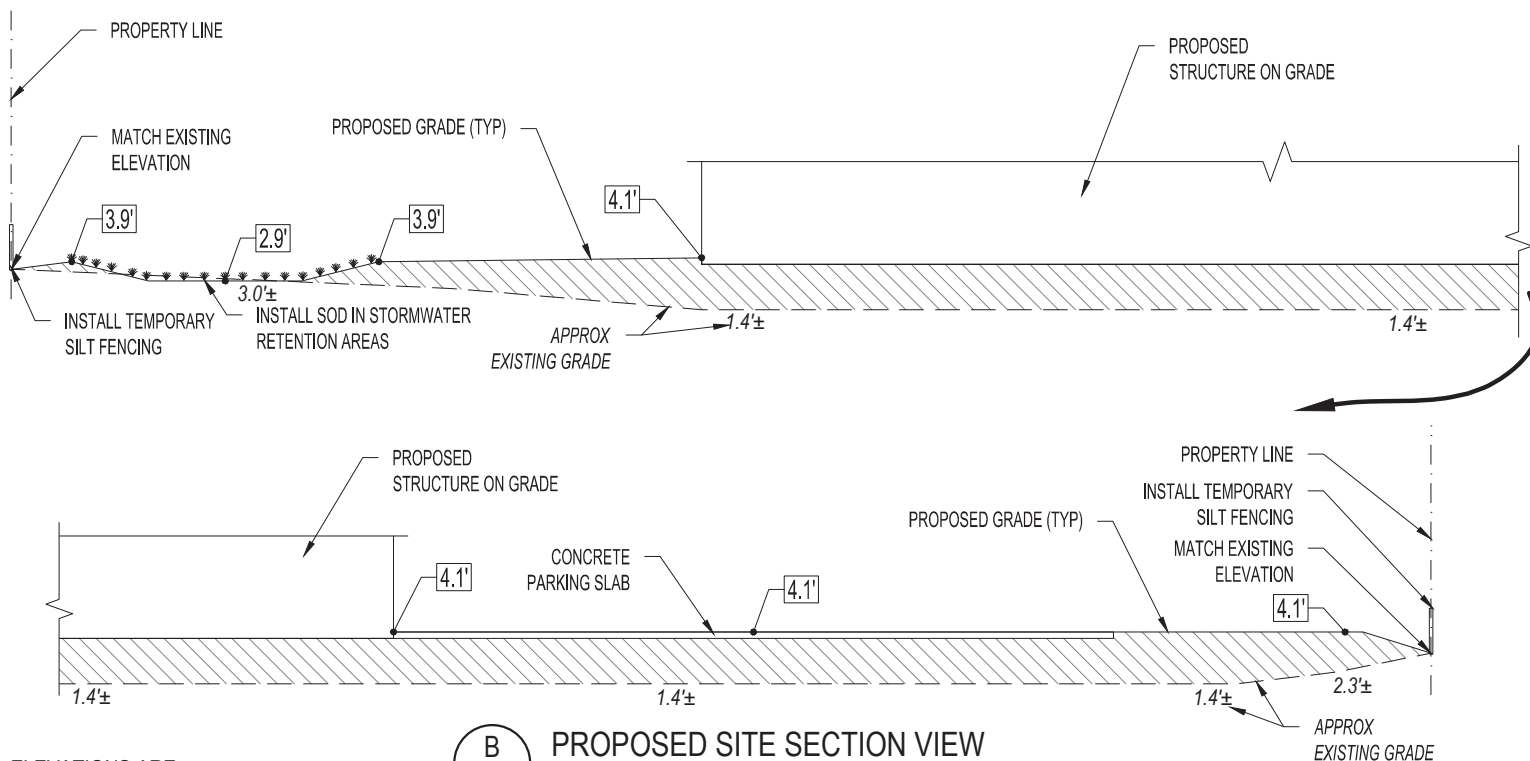


A
C-4.0

PROPOSED SITE SECTION VIEW

SCALE: N.T.S.

ELEVATIONS ARE
REFERENCED IN NGVD 29



B
C-4.0

PROPOSED SITE SECTION VIEW

SCALE: N.T.S.

ELEVATIONS ARE
REFERENCED IN NGVD 29

SHEET TITLE:
DETAILS/SECTIONS

DRAWN BY:
SLM
REVIEWED BY:
SLM
PROJECT NO:
18-61
SCALE:
AS NOTED

CAD FILE:
Miller Property Fill (01-30-19).dwg
SHEET SIZE:
ANSI A (8½ x 11)

SHEET NUMBER:
C-4.0
SHEET 4 OF 6

**MILLER PROPERTY - RES. EMPLOYEE
HOUSING / COMMERCIAL USE PROJECT**

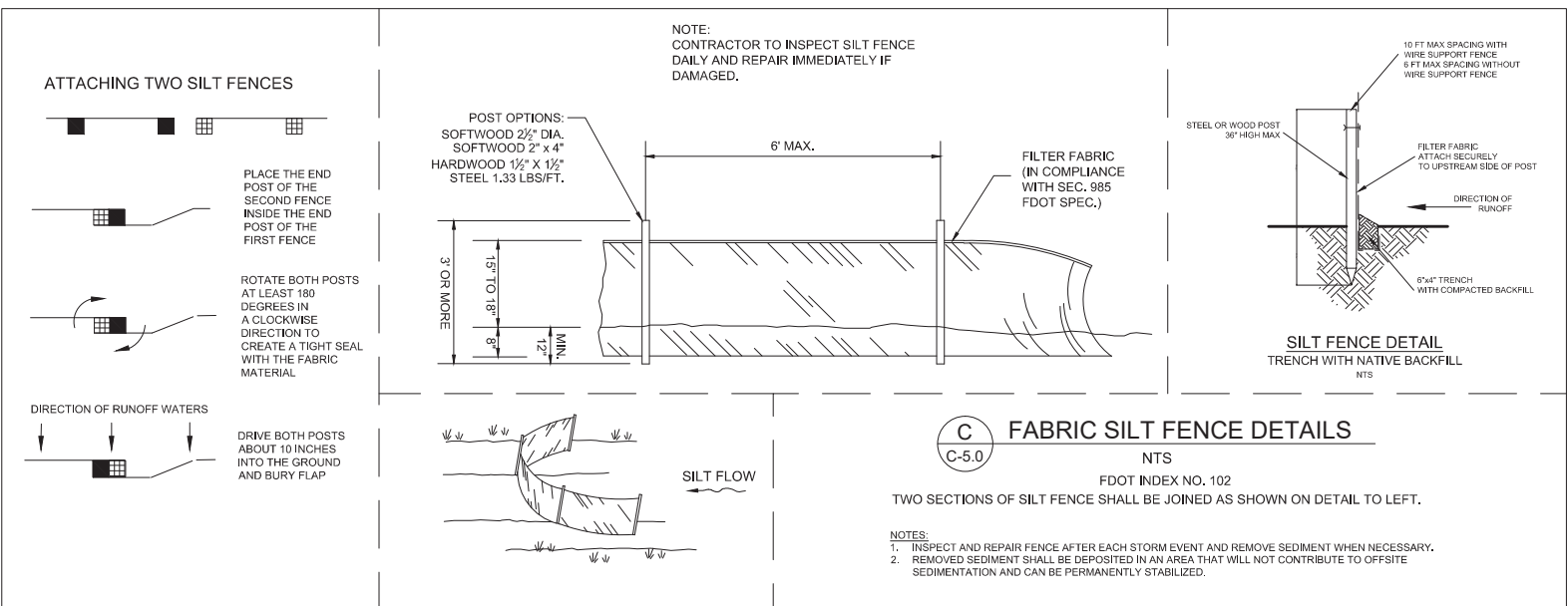
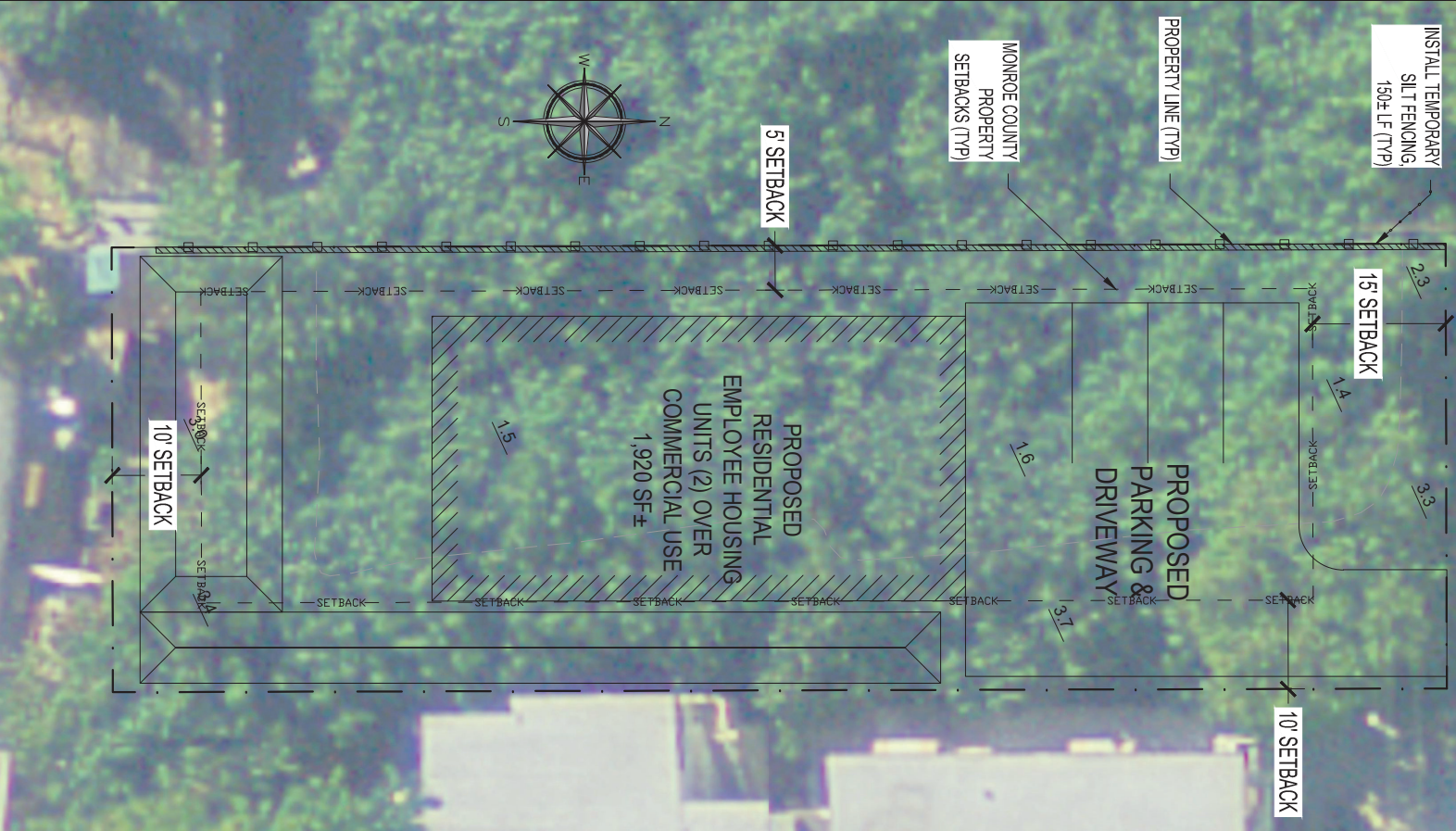
DATE:
JANUARY 30, 2019

LOT 11, 3rd AVE.
STOCK ISLAND, FL 33040

SLIM ENGINEERING INC.
CIVIL ENGINEERING SERVICES
KEY WEST, FL
(305) 509-2647
CERTIFICATE OF AUTHORIZATION #30200

PLANS NOT VALID
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CONSTRUCTION
UNLESS SIGNED
AND SEALED IN
THIS BLOCK
STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA

3rd AVENUE



SHEET TITLE:
PROPOSED EROSION
CONTROL PLAN

DRAWN BY:
SLM

PROJECT NO.:
1861

REVIEWED BY:
SLM

SCALE:
AS NOTED

CAD FILE:
Miller Property Fill (01-30-19).dwg

SHEET SIZE:
ANSI A (8 1/2 x 11)

SHEET NUMBER:
C-5.0

SHEET 5 OF 6

MILLER PROPERTY - RES. EMPLOYEE
HOUSING / COMMERCIAL USE PROJECT

DATE:
JANUARY 30, 2019

LOT 11, 3rd AVE.
STOCK ISLAND, FL 33040

SLIM ENGINEERING INC.

CIVIL ENGINEERING SERVICES

KEY WEST, FL
(305) 509-2647

CERTIFICATE OF AUTHORIZATION #30200

PLANS NOT VALID
FOR
CONSTRUCTION
UNLESS SIGNED
AND SEALED IN
THIS BLOCK

STEREPL, MARKER
PROF. LICENSE NO. 35454
STATE OF FLORIDA

GENERAL NOTES:

1. CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO COMMENCING WORK. THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE ARMY CORPS OF ENGINEERS, & LOCAL REGULATIONS SHALL GOVERN ALL WORK.
2. WORK SHOWN ON DRAWINGS IS DESIGNED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (LATEST EDITION). CONTRACTOR SHALL FOLLOW ALL APPLICABLE PROVISIONS FOR ALL PHASES OF CONSTRUCTION.
3. THE PROPOSED STRUCTURE(S) IS DESIGNED FOR A LIVE LOAD OF 40 PSF. WIND LOADS ARE DESIGNED PER THE 2017 FL BLDG CODE & ASCE 7-10.
4. BEST MANAGEMENT PRACTICES, INCLUDING THE USE OF TURBIDITY BARRIERS, ARE REQUIRED TO ISOLATE THE CONSTRUCTION AREA FROM THE ADJACENT WATERS. CONTRACTOR SHALL INSTALL TURBIDITY BARRIERS AROUND THE IMMEDIATE PROJECT AREA PRIOR TO CONSTRUCTION. THE TURBIDITY BARRIERS SHALL REMAIN IN PLACE UNTIL WATER QUALITY CONDITIONS RETURN TO PRE-CONSTRUCTION CONDITIONS. WATER QUALITY MONITORING SHALL ADHERE TO STATE REGULATIONS.
5. ELECTRIC & WATER (DESIGN PROVIDED BY OTHERS UNLESS SHOWN) SHALL BE PROVIDED. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL PROPOSED UTILITIES WITH OWNER PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS & WATER DEPTHS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
7. THE STRUCTURAL INTEGRITY OF THE COMPLETED STRUCTURE DEPENDS OF INTERACTION OF VARIOUS CONNECTED COMPONENTS. PROVIDE ADEQUATE BRACING, SHORING, AND OTHER TEMPORARY SUPPORTS AS REQUIRED TO SAFELY COMPLETE THE WORK.
8. EXERCISE EXTREME CARE AND CAUTION WHEN EXCAVATING AND FILLING ADJACENT TO EXISTING STRUCTURES. UNDER NO CIRCUMSTANCES SHALL THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES BE IMPAIRED IN ANY WAY BY CONSTRUCTION OPERATIONS AND PROCEDURES. DO NOT EXCAVATE OR DISTURB SOIL ADJACENT TO OR BENEATH EXISTING FOOTINGS.
9. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT AND STONE AGGREGATE, AND SHALL DEVELOP AT LEAST 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS OTHERWISE NOTED).
10. SLABS, TOPPING, FOOTINGS, BEAMS, AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR OTHERWISE APPROVED BY THE ENGINEER.
11. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
12. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
13. MIXING, PLACING, AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET OR THE CONCRETE MUST BE COVERED AND SPRAYED.
14. STEEL SHALL MEET ALL THE REQUIREMENTS OF ASTM A615 GRADE 60.
15. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
16. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
17. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED UNLESS NOTED OTHERWISE.

SHEET TITLE:
CONSTRUCTION
NOTES &
SPECIFICATIONS

DRAWN BY: SLM	PROJECT NO: 18-61
REVIEWED BY: SLM	SCALE: AS NOTED

CAD FILE: Miller Property Fill (01-30-19).dwg
SHEET SIZE: ANSI A (8½ x 11)

SHEET NUMBER:
C-6.0
SHEET 6 OF 6

**MILLER PROPERTY - RES. EMPLOYEE
HOUSING / COMMERCIAL USE PROJECT**



LOT 11, 3rd AVE.
STOCK ISLAND, FL 33040

SLIM ENGINEERING INC.

CIVIL ENGINEERING SERVICES

KEY WEST, FL
(305) 509-2647

CERTIFICATE OF AUTHORIZATION #30200

PLANS NOT VALID
FOR
CONSTRUCTION
UNLESS SIGNED
AND SEALED IN
THIS BLOCK

STEPHEN L. MARKEY
PROFESSIONAL ENGINEER
LICENSE NO. 74560
STATE OF FLORIDA