



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
1520 ROYAL PALM SQUARE BLVD. SUITE 310
FORT MYERS, FL 33919

REPLY TO

April 8, 2020

Regulatory Division
West Permits Branch
Fort Myers Permits Section

PUBLIC NOTICE

Permit Application No. SAJ-2020-00281 (SP-ACM)

TO WHOM IT MAY CONCERN: The Jacksonville District of the U.S. Army Corps of Engineers (Corps) has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 U.S.C. §1344) as described below:

APPLICANT: Will Reynolds
Certus DNL Owner LLC
1013 W. Lake Eloise Terrace
Winter Haven, Florida 33884

WATERWAY AND LOCATION: The project would affect waters of the United States associated with the Tenmile Canal (HUC 12: 030902040101) and the Big Cypress Swamp Watershed. The project site is located at 13451 Shetland Lane, Section 21, Township 45 South, Range 25 East, Fort Myers, Lee County, Florida.

Directions to the site are as follows: From I-75 take Exit 131 and head west on Daniels Parkway for 1.3 miles. The project will be on your right between Pinto Lane and Shetland Lane.

APPROXIMATE CENTRAL COORDINATES: Latitude 26.548313°
Longitude -81.814111°

PROJECT PURPOSE:

Basic: Residential development

Overall: Construct a 64 bed residential assisted living facility with easy access to major thoroughways near central Lee County, Florida.

EXISTING CONDITIONS: The project site is an approximately 6.84-acre undeveloped parcel comprised mainly of disturbed land (FLUCCS 740), ditches (FLUCCS 512), wetlands forested mixed (FLUCCS 630), borrow areas (FLUCCS 742), and roads & highways (FLUCCS 814). The surrounding area includes Daniels Parkway to the south, Pinto Lane to the east, Shetland Lane to the west, and forested wetlands to the north.

PROPOSED WORK: The applicant seeks authorization to fill 1.38 acres of freshwater forested wetlands for the construction of a 64 bed assisted living facility with associated infrastructure, including parking areas and stormwater management facilities.

AVOIDANCE AND MINIMIZATION INFORMATION – The applicant has provided the following information in support of efforts to avoid and/or minimize impacts to the aquatic environment:

“Avoidance and minimization regarding wetland impacts will be demonstrated in the final engineering drawings, offsite mitigation plan through USACE acceptable mitigation site and nuisance plant removal or wetland jurisdictional areas.”

COMPENSATORY MITIGATION – The applicant has offered the following compensatory mitigation plan to offset unavoidable functional loss to the aquatic environment:

“All impacts to wetlands will be mitigated by offsite mitigation via an approved USACE mitigation bank and/or removing exotic, nuisance species from the site.”

CULTURAL RESOURCES:

The Corps is not aware of any known historic properties within the permit area. By copy of this public notice, the Corps is providing information for review. Our final determination relative to historic resource impacts is subject to review by and coordination with the State Historic Preservation Officer and those federally recognized tribes with concerns in Florida and the Permit Area.

ENDANGERED SPECIES:

The Corps has determined the proposed project **may affect** the Florida Bonneted Bat (*Eumops floridanus*). A Florida Bonneted Bat survey was conducted on December 19, 2019 and resulted in activity by the species. The Corps requested U.S. Fish and Wildlife concurrence with this determination, via letter on February 11, 2020, pursuant to Section 7 of the Endangered Species Act.

The Corps has determined the proposed project **may affect, but is not likely to adversely affect**, the Eastern indigo snake (*Drymarchon corais couperi*) and Red-cockaded woodpecker (*Picoides borealis*). The Corps requested U.S. Fish and Wildlife concurrence with this determination via letter on February 11, 2020, pursuant to Section 7 of the Endangered Species Act.

The Corps has determined the proposal would have **no effect** on the Wood stork (*Mycteria americana*), Everglade snail kite (*Rostrhamus sociabilis plumbeus*), Florida scrub jay (*Aphelocoma coerulescens*), and/or their designated critical habitat. No further consultation with the Service is required for these species.

ESSENTIAL FISH HABITAT (EFH): This notice initiates consultation with the National Marine Fisheries Service on EFH as required by the Magnuson-Stevens Fishery Conservation and Management Act 1996. The project site does not contain EFH; therefore, the Corps has determined that the proposed project would have no effect to EFH.

NOTE: This public notice is being issued based on information furnished by the applicant. This information has not been verified or evaluated to ensure compliance with laws and regulation governing the regulatory program. The jurisdictional line has not been verified by Corps personnel.

AUTHORIZATION FROM OTHER AGENCIES: Water Quality Certification may be required from the Florida Department of Environmental Protection and/or one of the state Water Management Districts.

COMMENTS regarding the potential authorization of the work proposed should be submitted in writing to the attention of the District Engineer through the Fort Myers Permits Section, 1520 Royal Palm Square Blvd. Suite 310, Fort Myers, FL 33919 within 30 days from the date of this notice.

The decision whether to issue or deny this permit application will be based on the information received from this public notice and the evaluation of the probable impact to the associated wetlands. This is based on an analysis of the applicant's avoidance and minimization efforts for the project, as well as the compensatory mitigation proposed.

QUESTIONS concerning this application should be directed to the project manager, Michelle L. Bartley, in writing at the Fort Myers Permits Section, 1520 Royal Palm Square Blvd. Suite 310, Fort Myers, FL 33919; by electronic mail at Michelle.L.Bartley@usace.army.mil; or, by telephone at (239)334-1975 ext. 0006.

IMPACT ON NATURAL RESOURCES: Coordination with U.S. Fish and Wildlife Service, Environmental Protection Agency (EPA), the National Marine Fisheries Services, and other Federal, State, and local agencies, environmental groups, and concerned citizens generally yields pertinent environmental information that is instrumental in determining the impact the proposed action will have on the natural resources of the area.

EVALUATION: The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits, which reasonably may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including cumulative impacts thereof; among these are conservation, economics, aesthetics, general environmental concerns, wetlands, historical properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion,

recreation, water supply and conservation, water quality, energy needs, safety, food, and fiber production, mineral needs, considerations of property ownership, and in general, the needs and welfare of the people. Evaluation of the impact of the activity on the public interest will also include application of the guidelines promulgated by the Administrator, EPA, under authority of Section 404(b) of the Clean Water Act or the criteria established under authority of Section 102(a) of the Marine Protection Research and Sanctuaries Act of 1972. A permit will be granted unless its issuance is found to be contrary to the public interest.

The US Army Corps of Engineers (Corps) is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other Interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps to determine whether to issue, modify, condition, or deny a permit for this proposal. To make this determination, comments are used to assess impacts to endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

COASTAL ZONE MANAGEMENT CONSISTENCY: In Florida, the State approval constitutes compliance with the approved Coastal Zone Management Plan. In Puerto Rico, a Coastal Zone Management Consistency Concurrence is required from the Puerto Rico Planning Board. In the Virgin Islands, the Department of Planning and Natural Resources permit constitutes compliance with the Coastal Zone Management Plan.

REQUEST FOR PUBLIC HEARING: Any person may request a public hearing. The request must be submitted in writing to the District Engineer within the designated comment period of the notice and must state the specific reasons for requesting the public hearing.

SHEET INDEX

NO.	TITLE	REV. NO.
1.	COVER SHEET	
2.	SPECIFICATION & NOTES	
3.	DEMOLITION AND SITE PREPARATION	
3A.	TREE REMOVAL & PRESERVATION	
4.	SITE PLAN	
5.	GRADING PLAN	
6.	UTILITY PLAN	
7.	PAVEMENT SIGNING & MISC DETAILS	
8.	DRAINAGE DETAILS	
9.	WATER & SEWER DETAILS	
10.	WATER & SEWER DETAILS	
11.	MISC. DRAINAGE DETAILS	
12.	CROSS SECTIONS	
L-1.	LANDSCAPE	
IR1.	SPECIFICATION & NOTES	
MOT	TREE REMOVAL /PRESERVATION PLAN	
	SURVEY	

SITE CONSTRUCTION PLANS

For

CERTUS ALF DANIELS PARKWAY

LEE COUNTY, FLORIDA

MAY 2019

PARCEL ID# 21-45-25-01-00000-024A & 21-45-25-01-00000-023B

PREPARED FOR:

CERTUS DNL OWNER, LLC.

1916 ELOISE COVE DRIVE

WINTER HAVEN, FLORIDA 33884

PH: (863) 412-2045

PREPARED BY:



Engineering Consultants
PO BOX 450006 • KISSIMEE, FL 34745
Phone: (407) 738-1979

DATA SUMMARY

PROJECT INTENT:
PROVIDE FINAL SITE PLAN WITH SUPPORTING CONSTRUCTION DETAILS FOR OBTAINING DEVELOPMENT ORDER FOR SITE CONSTRUCTION APPROVAL FOR 64 BED ASSISTED LIVING FACILITY AND PROVIDE INFRASTRUCTURE SUPPORT FOR FUTURE OFFICE & RETAIL BUILDING THAT MAY BE CONSTRUCTED IN FUTURE PHASE.

PROPERTY LOCATION:
PROJECT IS LOCATED NORTH OF DANIEL PARKWAY CENTERED BETWEEN PINTO LANE AND SHETLAND LANE, ADDRESS 13451 SHETLAND LANE & 13450 PINTO LANE FORT MYERS, FLORIDA 33912, SECTION 25, TOWNSHIP 45S, RANGE 25E
OWNER OF RECORD:
BREWSKI BROTHERS, LLC,
15204 FIDDLESTICKS BLVD
FORT MYERS, FLORIDA 33912
APPLICANT:
CERTUS DNL OWNER, LLC,
1916 ELOISE COVE DRIVE
WINTER HAVEN, FLORIDA 33884

PROPERTY LAND AREAS: 6.84± ACRES

PROPERTY ZONING/LAND USE:

EXISTING ZONING: YOUNG CPD

PROPOSED ZONING: YOUNG CPD AS AMENDED

MAXIMUM BUILDING HEIGHT: 35 FEET

BUILDING MINIMUM SETBACKS:

STREET = 40' (DANIELS PARKWAY)

25' (ALL OTHER STREETS)

SIDE = 15'

20' (FROM PRESERVE)

REAR = 20'

WATER BODY = 25'

FLOOR AREA/BUILDING COVERAGE:

MAXIMUM BUILDING COVERAGE: 40% ACTUAL BUILDING COVERAGE: 63,785 SF/297,950 SF = 21.41%

MAXIMUM OPEN SPACE: 30 PERCENT

MAXIMUM LOT SIZE: 7,500 S.F.

MAXIMUM LOT WIDTH: 75 FEET

MAXIMUM LOT DEPTH: 100 FEET

PARKING SPACES REQUIRED:

OFFICE: 4 SPACES PER EACH 1,000 S.F.

RETAIL SPACE: 1 SPACE PER EACH 350 S.F.

ASSISTED LIVING FACILITY: 0.41 SPACE PER EACH UNIT

PARKING SPACES REQUIRED:

ASSISTED LIVING FACILITY : 64 UNITS @ 0.41 SPACE PER UNIT = 27 PARKING SPACES (CURRENT PROJECT)

OFFICE 10,000 S.F. : 4 SPACES PER EACH 1,000 S.F. = 40 SPACES (FUTURE PHASE)

RETAIL SPACE 10,000 S.F. : 1 SPACES PER EACH 350 S.F. = 29 SPACES (FUTURE PHASE)

PARKING SPACES PROVIDED:

STANDARD SPACES (9'X18') = 49 SPACES PROVIDED

HANDICAP SPACES (12'X18') MINIMUM W/5' ACCESS AISLE = 4 SPACES PROVIDED

TOTAL SPACES PROVIDED = 53 SPACES PROVIDED > 27 SPACES OKAY

EXISTING LOT COVERAGE CALCULATIONS:

DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
EXISTING ROADWAY SHETLAND & PINTO	5,591 S.F.	0.13 AC.	1.88 %
WET POND	11,761 S.F.	0.27 AC.	3.95 %
RESTORATION OF PRESERVATION AREA	43,560 S.F.	1.0 AC.	14.62 %
WETLAND OUTSIDE OF PRESERVATION AREA	34,850 S.F.	0.80 AC.	11.70 %
EXISTING GREENSPACE	202,188 S.F.	4.64 AC.	67.85 %
TOTAL AREA	297,950 S.F.	6.84 AC.	100 %

PROPOSED LOT COVERAGE CALCULATIONS:

DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
BUILDING AREA (ALF 43,785SF & 10,000 SF)	53,785 S.F.	1.24 AC.	18.06 %
WET POND	21,978 S.F.	0.50 AC.	7.38 %
ROADWAY (SHETLAND & PINTO)	6,167 S.F.	0.14 AC.	2.07 %
ONSITE PAVEMENT/CONCRETE (INCLUDE FUTURE)	80,938 S.F.	1.87 AC.	27.16 %
RESTORATION OPEN SPACE AREA/WETLAND	43,560 S.F.	1.0 AC.	14.62 %
DRY SWALES	19,614 S.F.	0.45 AC.	6.58 %
GREENSPACE	71,908 S.F.	1.65 AC.	24.13 %
TOTAL AREA	297,950 S.F.	6.84 AC.	100 %

OPEN SPACE TABULATION: WET POND 0.5 AC. - RESTORATION AREA 1.0 AC. - DRY SWALES 0.45 AC. - GREENSPACE 1.65 AC.
= 3.60 AC / 6.84 AC = 52.63 % > 30% OKAY

LANDSCAPE BUFFERS:

40' (DANIELS PARKWAY)
18' (PINTO LANE)
15' (SHETLAND LANE)
30' (NORTH/NORTHWEST SEE PLAN)
0' (NORTH/EAST/SEE PLAN)
10' (NORTH, WEST BOUNDARY OF ZIELINSKI PARCEL SEE PLAN)
25' (NORTH, SOUTH BOUNDARY OF ZIELINSKI PARCEL SEE PLAN)

LEGAL DESCRIPTION

DESCRIPTION:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 45 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN N.01°08'55"W. ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 21 FOR 330.86 FEET TO THE POINT OF BEGINNING; THENCE RUN S.88°41'18"W. TO A POINT ALONG THE CENTERLINE OF SHETLAND LANE (60 FEET WIDE) FOR 339.90 FEET; THENCE RUN N.01°14'40"W. ALONG SAID CENTERLINE OF SHETLAND LANE (60 FEET WIDE) FOR 330.87 FEET; THENCE RUN N.88°41'24"E. TO A POINT ALONG THE WEST LINE OF THE NORTHEAST QUARTER SAID SECTION 21 FOR 340.46 FEET; THENCE RUN N.88°41'24"E. FOR 280.92 FEET; THENCE RUN S.01°07'48"E. FOR 100.00 FEET; THENCE RUN N.88°41'24"E. TO A POINT ALONG THE CENTERLINE OF PINTO LANE (60 FEET WIDE) FOR 400.00 FEET; THENCE RUN S.01°07'48"E. ALONG SAID CENTERLINE OF PINTO LANE (60 FEET WIDE) FOR 230.84 FEET; THENCE RUN S.88°41'18"W. TO A POINT ALONG THE AFORESAID WEST LINE OF THE NORTHEAST QUARTER (NE1/4) SECTION 21 FOR 680.81 FEET TO THE POINT OF BEGINNING.

CONTAINING: 297,816.84 SQ. FT. OR 6.84 ACRES, MORE OR LESS.

THESE PLANS MAY NOT BE COPIED OR MODIFIED WITHOUT WRITTEN PERMISSION FROM CADIJAZZ, LLC.

CADIJAZZ, CERTIFICATE OF AUTHORIZATION #28509

DESIGNED BY:	JEM	DRAWN BY:	VCS	CHKD BY:	HLG
JOB NUMBER:		DATE:	04/2010	SCALE:	
NO.		REVISIONS		DATE	APPL
1					
2					

DESCRIPTION: WHITE SIGNS BPUD PSP
CDJ.29.01.18.WS.DEB

BY: VCS

SHEET NUMBER

1

CONSULTANTS

CIVIL ENGINEERS
CADIJAZZ ENGINEERING CONSULTANTS
PO BOX 450006
KISSIMEE, FLORIDA 34745
TEL: (407) 738-1979
HERB GREEN, P.E.

LAND SURVEYOR:
HARRIS-JORGENSEN, LLC
3048 DEL PRADO BLVD SUITE #100
CAPE CORAL, FLORIDA 33904
TEL: (239) 257-2624
PHILLIP M. MOULD, PSM

ENVIRONMENTAL
STORM L. RICHARDS & ASSOCIATES, INC.
1804 MAPLE AVENUE
SANFORD, FLORIDA 32711-3358
TEL: (407) 323-9021
DR. STORM L. RICHARDS

UTILITIES

WATER AND SEWER:
LEE COUNTY UTILITIES ENGINEERING
PO BOX 398
FORT MYERS, FLORIDA 33902-0398
239-533-8532
MARY MCCORMIC

SOLID WASTE DISPOSAL:
LEE COUNTY SOLID WASTE
10500 BUCKINGHAM ROAD
FORT MYERS, FLORIDA 33905
239-533-8000
BRIDGET KANTOR

TELEPHONE:
CENTURY LINK
2820 CARGO STREET BLDG A
FORT MYERS, FLORIDA 33916
239-336-2003
CRAIG CLARK

WATER MANAGEMENT DISTRICT:
SOUTH FLORIDA WATER MANAGEMENT DISTRICT
2301 MCGREGOR BLVD
FORT MYERS, FLORIDA 33901
239-338-2929

POWER:
FLORIDA POWER & LIGHT
4215 UP THE GROVE LANE, ENV/WP8-BLDG8
WEST PALM BEACH, FLORIDA 33407
386-586-6403
JOEL BRAY

CABLE:
COMCAST CABLE
2601 SW 145TH AVENUE
MIRAMAR, FLORIDA 33027
954-447-8405
LEONARD MAXWELL-NEUBOLD

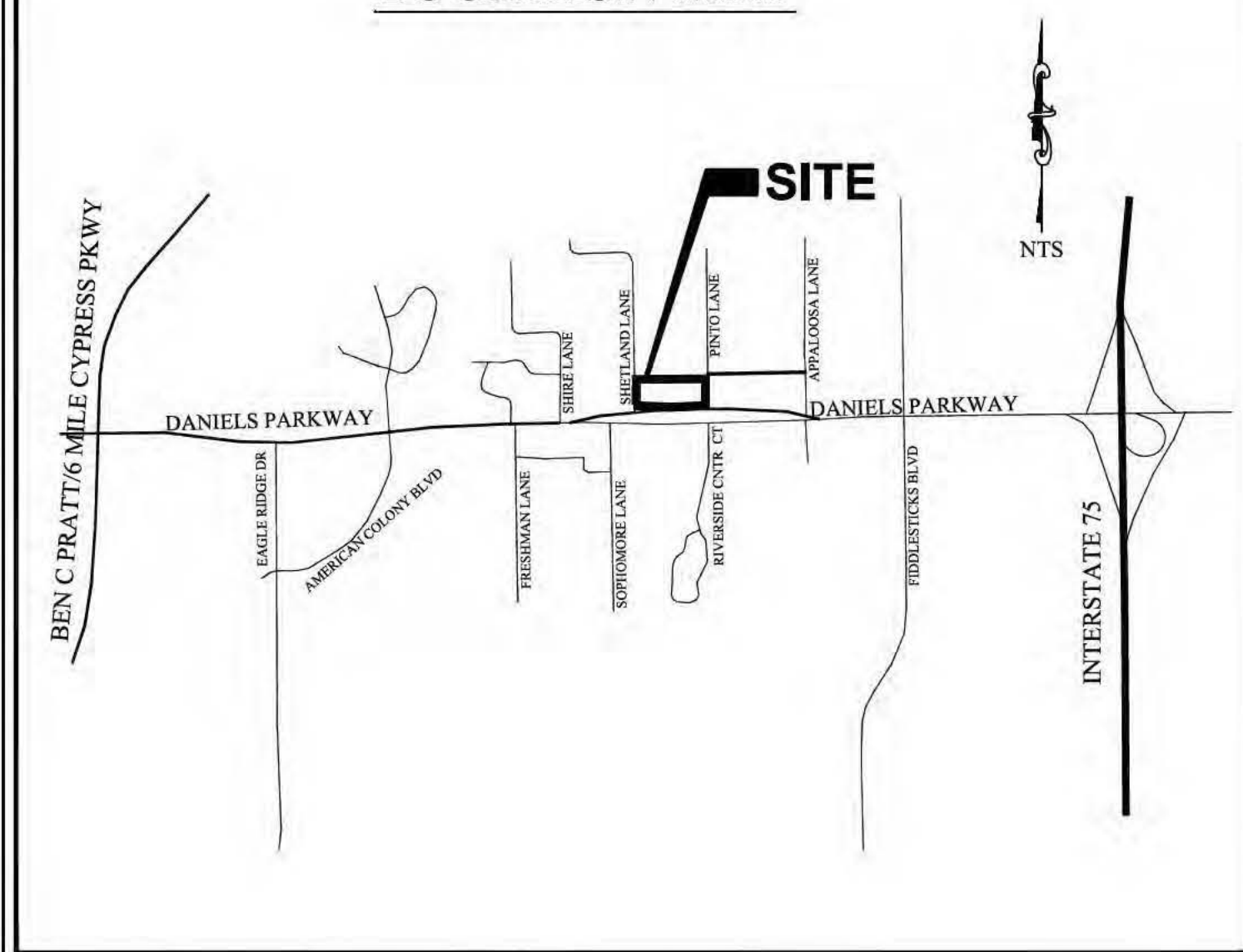
GAS:
TEECO PEOPLES GAS
5901 ENTERPRISE PKWY
FORT MYERS, FLORIDA 33905
239-690-5517
MARIULIN ALOI

CONTRACTOR TO CALL SUNSHINE ONE AT 1-800-432-4770
TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES

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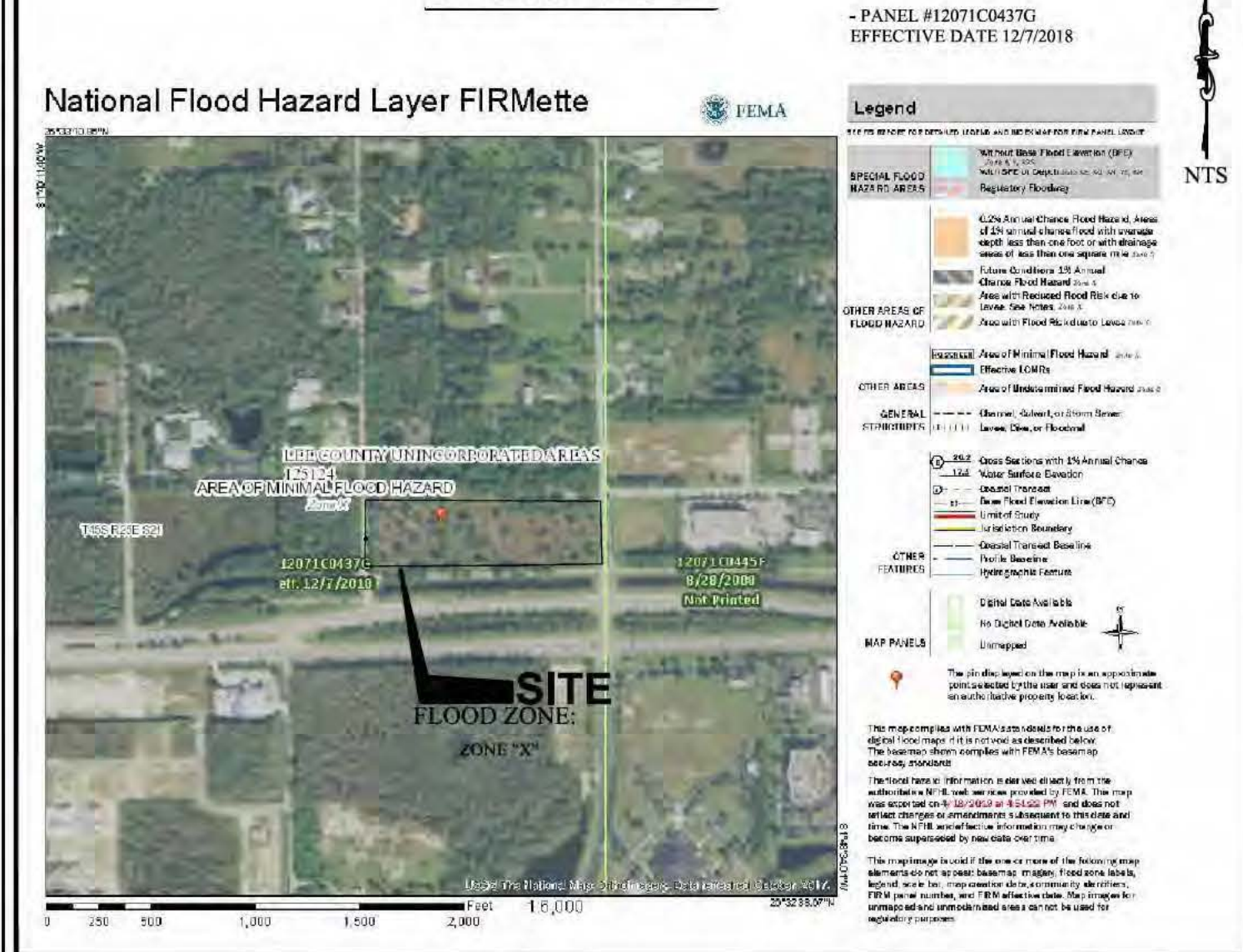
LOCATION MAP



AERIAL MAP

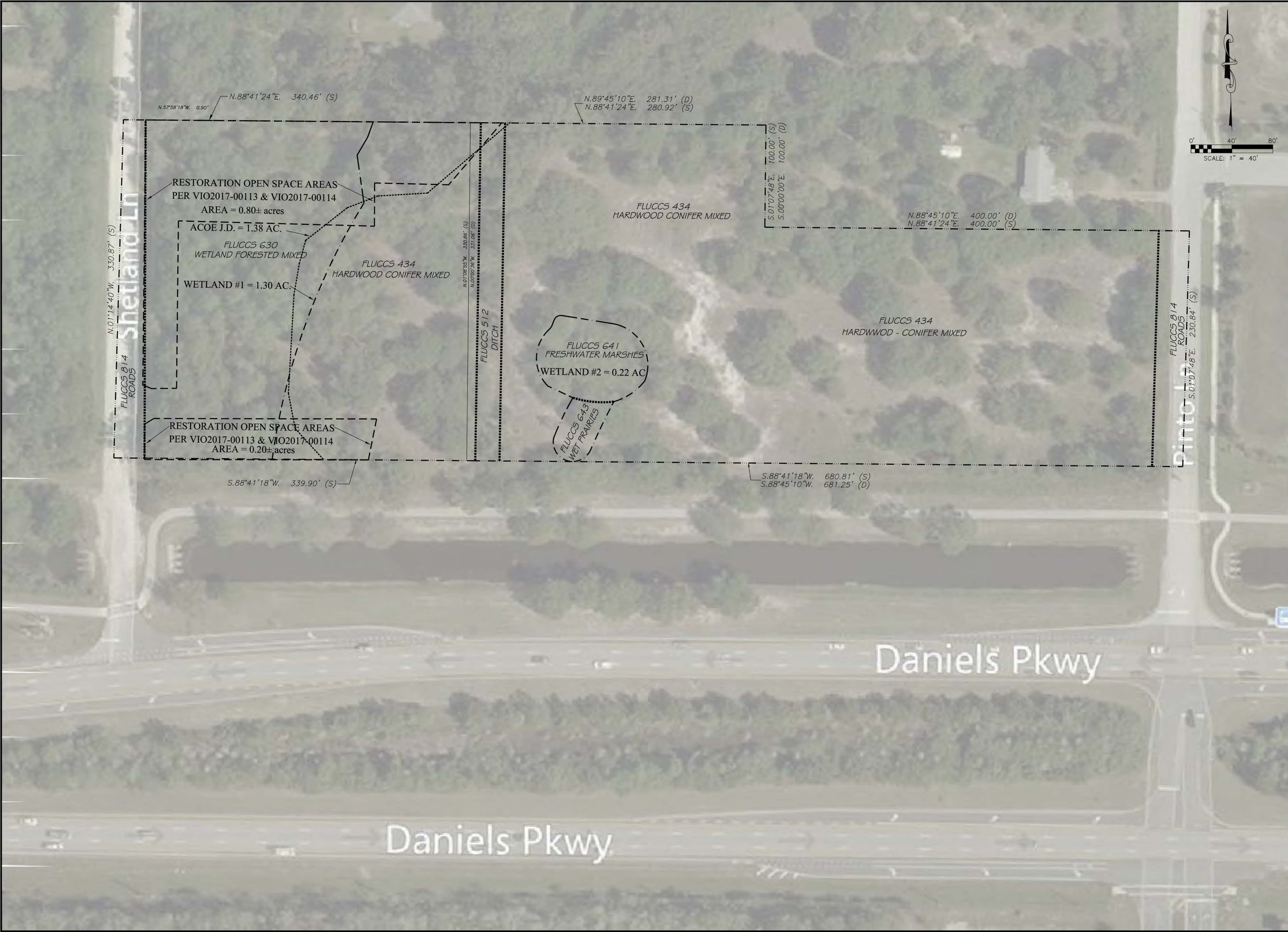


FEMA MAP



SOILS MAP





DESIGNED BY:	HIG	DRAWN BY:	SIF	DATE:	2015	SCALE:	HIG
JOB NUMBER:	CD/NOVA ROAD	DATE:	2015	SCALE:			
NO.	1	2	3	4	5	DATE	APPL

FLUCCS MAP

YOUNG CPD @ DANIELS PARKWAY
LEE COUNTY, FLORIDA

CERTUS DNL OWNER, LLC.

Engineering Consultants •
PO Box 450006 • Kissimmee, Florida 34745
Phone: (407) 738-1979 Fax: (407) 348-7552

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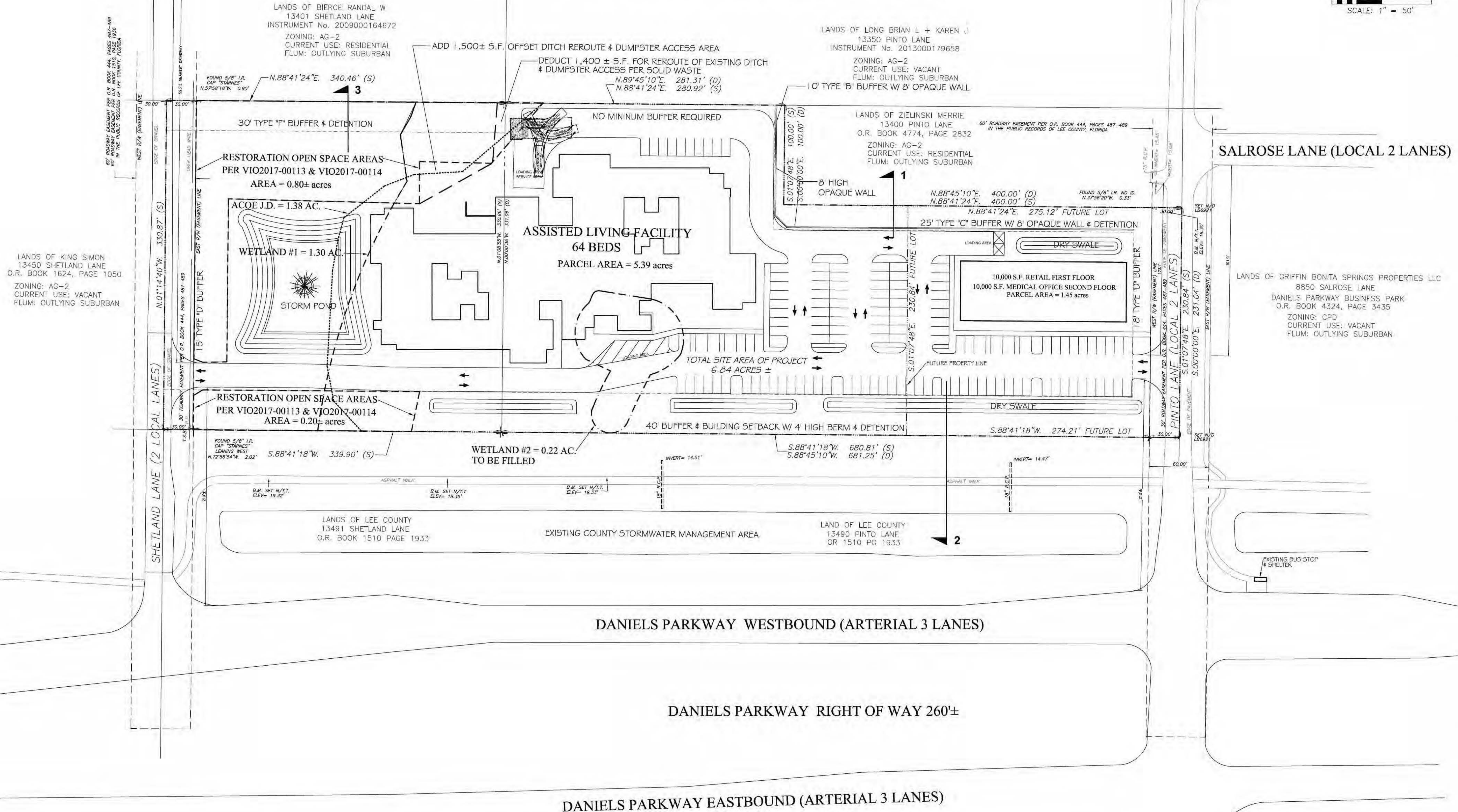
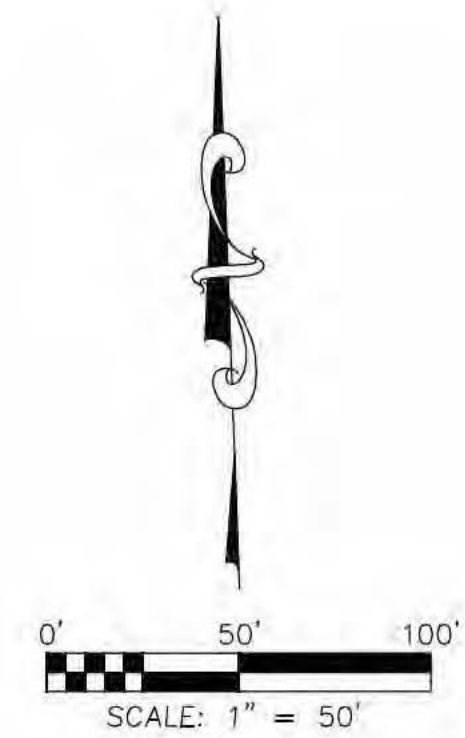
SEAL

NOT VALID UNLESS SIGNED &
EMBOSSSED BY
A REGISTERED ENGINEER
CADAZZ, LLC
CERTIFICATION OF
AUTHORIZATION # 28509

SHEET NUMBER

PROJECT SUMMARY
PARCEL IDENTIFICATIONS: 21-45-25-01-00000.024 A (4.26± acres)
21-45-25-01-00000.023 B (2.58± acres)
TOTAL PROJECT AREA: 6.84 ACRES
CURRENT ZONING: CPD (YOUNG CPD BY RESOLUTION Z-07-004)
FUTURE LANDUSE: OUTLYING SUBURBAN
INDIGENOUS AREA REQUIRED: 1.0 ACRES
RESTORATION OPEN SPACE AREA: 1.02± ACRES
PER VIO2017-00114 & VIO2017-00114
LDO2017-00302 RESTORATION & MONITORING PLAN
OPEN SPACE REQUIRED (30%): 2.04 ACRES
PROPOSED OPEN SPACE (40%): 2.74 ACRES
PROPOSED DENSITY: 16 DU/5.39 ACRE = 3.0 DU/ACRE
EXISTING WETLANDS: 1.52 ACRES
APPROXIMATE WETLAND IMPACT: 1.0 ACRES

MINIMUM DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE: 7,500 SQUARE FEET
MINIMUM LOT WIDTH: 75 FEET
MINIMUM LOT DEPTH: 100 FEET
MINIMUM SETBACKS:
STREET: 40 FEET FROM DANIELS PARKWAY
15 FEET FROM ALL OTHER STREETS
SIDE: 20 FEET
SIDE FROM INDIGENOUS PRESERVE: 20 FEET
REAR: 20 FEET
WATER BODY: 25 FEET
MINIMUM BUILDING SEPARATION: 45 FEET
MAXIMUM BUILDING HEIGHT: 2 STORIES/35 FEET
MAXIMUM BUILDING COVERAGE: 40 PERCENT
MINIMUM OPEN SPACE: 30 PERCENT
CONCEPT PLAN NOTES:
1. DWELLING UNIT CONVERSION:
64 BEDS * 0.25 DU/BEDS = 16 DWELLING UNITS (D.U.)
16 D.U. / 3 D.U./ACRE (OUTLYING SUBURBAN ALLOWABLE DENSITY) = 5.33 ACRES (MINIMUM ALF PARCEL AREA)



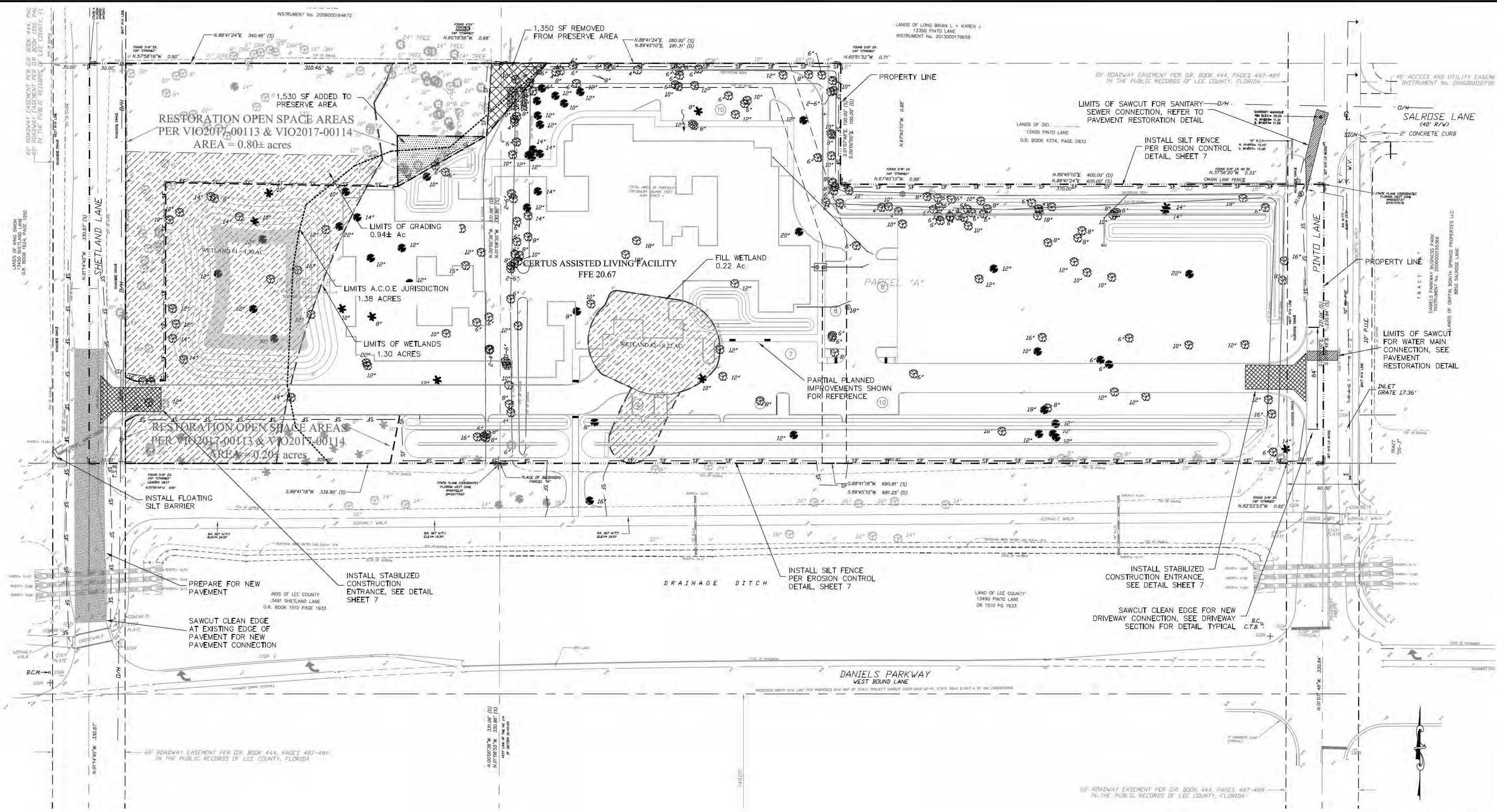
DESIGNED BY:		H/LG	DRAWN BY:	SEF	CHECKED BY:	H/LG
JOB NUMBER:		CD/NOVA ROAD	DATE:	5/20/15	SCALE:	
REVISIONS						
NO.						
1						
2						
3						
4						
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MASTER PLAN
YOUNG CPD @ DANIELS PARKWAY
LEE COUNTY, FLORIDA
CERTUS DNL OWNER, LLC.

CADIAZ
Engineering Consultants
• PO Box 450006 • Kissimmee, Florida 34745
Phone: (407) 738-1979 Fax: (407) 348-7552

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CADIAZ, LLC
CERTIFICATION OF
AUTHORIZATION # 28309

SHEET NUMBER
A1



SITE DEMOLITION NOTES

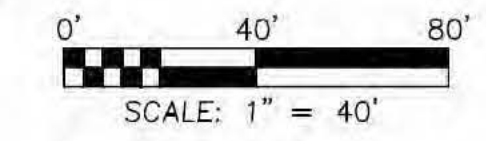
- CONTRACTOR TO DEMOLISH AND REMOVE ALL DELETERIOUS MATERIAL INCLUDING TOPSOIL & ORGANIC VEGETATION (I.E. GRASS, WEEDS AND SHRUBS) WITHIN LIMITS OF THE PROJECT SITE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL DEMOLITION DEBRIS, INCLUDING DEMOLISHED PAVEMENT & CONCRETE MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED DEMOLITION AND CONTRACTOR PERMITS PRIOR TO COMMENCING DEMOLITION.
- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION, SEE CLEARING & EROSION CONTROL NOTES ON DETAIL SHEET.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE WATER, SEWER, GAS, CABLE TV, ELECTRIC, AND TELEPHONE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- THE CONTRACTOR SHALL BARRICADE THE SITE AND CONTROL TRAFFIC PER CURRENT FDOT TRAFFIC CONTROL STANDARDS. CONTRACTOR TO COORDINATE WITH OWNER/DEVELOPER FOR ANY REQUIREMENTS OF MAINTAINING ACCESS THRU EXISTING DRIVEWAY AND PHASE CONSTRUCTION ACCORDINGLY PRIOR TO START OF DEMOLITION/SITE PREPARATIONS.
- CONTRACTOR SHALL PROVIDE SUFFICIENT SITE WATERING/IRRIGATION DURING EARTHWORK ACTIVITIES TO PREVENT FUGITIVE DUST/DEBRIS FROM LEAVING/BLOWING FROM THE SITE.
- EXISTING DRIVEWAY ENTRANCES TO BE MODIFIED PER PROPOSED SITE PLAN IMPROVEMENTS. CONTRACTOR TO MAINTAIN THRU TRAFFIC DURING NORMAL BUSINESS HOURS AND PROVIDE FOR STEEL PLATES OR OTHER APPURTENANCES NECESSARY TO MAINTAIN TRAFFIC IN DRIVEWAY AREAS DURING CONSTRUCTION OF STORM, UTILITIES, & PAVEMENT RESTORATION ACTIVITIES.
- CONTRACTOR TO PROVIDE SURFACE DRAINAGE TOWARD EXISTING OUTFALL STRUCTURE DURING ALL CONSTRUCTION OPERATIONS. CONTRACTOR SHALL PROVIDE BEST MANAGEMENT PRACTICES FOR EROSION CONTROL. SEE DETAIL SHEET FOR EROSION CONTROL REQUIREMENTS.
- IF ROOT PRUNING IS REQUIRED WITHIN THE TREE BARRICADE AREA, USE HAND TOOLS & SAWS TO MAKE CLEAN CUTS & MINIMAL IMPACTS TO EXISTING ROOTS ONLY TO ACCOMMODATE INSTALLATION. NO DITCH WITCH OR MACHINERY WILL BE USED TO DISTURB, PULL, OR TEAR ROOTS WITHIN THIS LOCATION.

EROSION CONTROL NOTES

- REFER TO EROSION CONTROL DETAIL AND NOTES ON SHEET 8
- TURBIDITY MUST BE REDUCED TO NO MORE THAN 29 NTU'S ABOVE BACKGROUND LEVEL PRIOR TO DISCHARGE OFF SITE.
- BMP'S MUST BE INSPECTED WEEKLY OR AFTER EVERY 0.5-INCH RAINFALL EVENT AND ALL INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION ON SITE.
- CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED VEGETATION.
- CONTRACTOR SHALL FILE FOR A FDEP NOTICE OF INTENT (NOI) FOR CONSTRUCTION GENERAL PERMIT AND A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF CONSTRUCTION COMPLETION.

LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE SAVED & REMAIN
- SILT FENCE/EROSION CONTROL



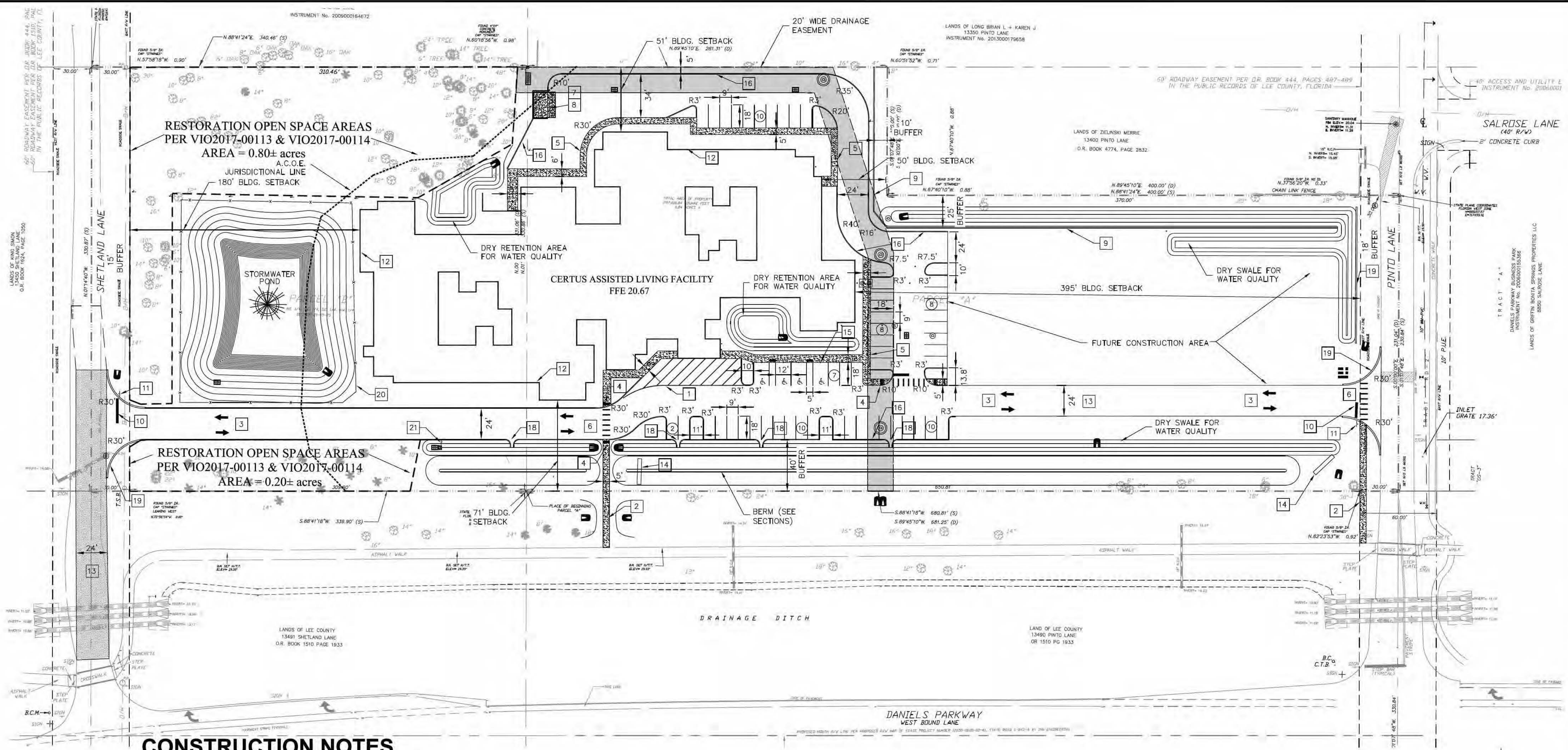
DESIGNED BY:	HIG	DRAWN BY:	SEF	CHECKED BY:	HIG
JOB NUMBER:	CDL140513	DATE:	11/20/13	SCALE:	1"=40'
NO.	1	REVISIONS			
	2				
	3				
	4				
	5				

SITE DEMOLITION AND PREPARATION PLAN
CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA
CERTUS DNL OWNER, LLC

CADIAZZ
Engineering Consultants
PO Box 450006 • Kissimmee, Florida 34745
Phone: (407) 738-1979 Fax: (407) 348-7552

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CONSTRUCTION NOTES

- 1 DROP OFF AREA, 4" SOLID STRIPING, 10' SPACING AT 45° ANGLE
- 2 CONCRETE SIDEWALK MIN. 4" THICK (SEE DETAIL SHEET 8)
- 3 PAINTED TRAFFIC ARROWS (TYPICAL)
- 4 CURB RAMP TRUNCATED DOME DETECTABLE WARNING PER FDOT INDEX NO. 304 (SEE DETAIL SHEET 7)
- 5 INTEGRAL CURB AND SIDEWALK (SEE DETAIL SHEET 8)
- 6 PEDESTRIAN CROSSING STRIPING (SEE DETAIL SHEET 7)
- 7 6" THICK CONCRETE AT DUMPSTER PAD AND HANDICAPPED SPACES (SEE DETAIL SHEET 8)
- 8 24' X 12' DUMPSTER ENCLOSURE (SEE DETAIL SHEET 11)
- 9 8' HIGH PRECAST PANEL/MASONRY WALL
- 10 24" WIDE PAINTED STOP BAR, (SEE DETAIL SHEET 7)
- 11 R1-1 (STOP SIGN, SEE DETAIL SHEET 7)
- 12 CONSTRUCT ROOF DRAINS, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND REQUIRED DETAILS AND SPECIFICATIONS, ALSO REFER TO SHEET 5 GRADING PLANS FOR STORM LINE LOCATIONS.
- 13 NEW ROADWAY, SEE TYPICAL SECTION, SHEET 8
- 14 MONUMENT SIGN TO BE PERMITTED BY SEPARATE SIGN PERMIT SUBMITTAL PER LEE COUNTY
- 15 6" DIA. STEEL PIPE BOLLARD 4 FEET HIGH ABOVE PAVEMENT, FILLED WITH CONCRETE, PAINTED YELLOW. AT HANDICAP PARKING SPOTS INSERT ADA PARKING SIGNS PRIOR TO CONCRETE FILL (SEE DETAIL SHEET 7)
- 16 FDOT TYPE "D" CURB (SEE DETAIL SHEET 8)
- 17 FDOT TYPE "F" CURB (SEE DETAIL SHEET 8)
- 18 CONCRETE DRAINAGE FLUME (SEE DETAIL SHEET 8)
- 19 CONCRETE HEADER CURB (SEE DETAIL SHEET 8)
- 20 4" BLACK ALUMINUM PICKET FENCE
- 21 PEDESTRIAN CROSSING SIGN (MUTCD W11-2)

LEGEND / ABBREVIATIONS

	PROPOSED CURB		S/W OR SW		# PARKING SPACES
	EXISTING EDGE OF PAVEMENT		C2		CURVE NUMBER
	SITE BOUNDARY LINE		R=		CURVE RADIUS
	CENTER LINE OF ROAD		SF OR SQ. FT.		SQUARE FEET
	RIGHT-OF-WAY LINE		EX		EXISTING
	RIGHT-OF-WAY TYPICAL				
	HANDICAP PARKING (SEE SIGNING & MARKING SHEET FOR PARKING LAYOUT DETAILS)				
	PROPOSED CONCRETE (SEE DETAIL)				
	PAVEMENT MARKINGS (PER FDOT INDEX 17346)				
	EXISTING TREES TO REMAIN				
	PROPOSED SITE LIGHTING (SEE PHOTOMETRIC PLAN)				
	CONSTRUCTION NOTES: PLEASE REFER TO SHEET 2 FOR CONSTRUCTION NOTES LEGEND				
	HEAVY DUTY PAVEMENT SECTION				

TRAFFIC CONTROL SIGNS

- R1-1 STOP SIGN MIN. 30"X30" - SEE DETAIL SHEET 8 FOR MINIMUM STANDARDS
1. REFER TO DETAIL SHEET 8 FOR HANDICAP PARKING SPACE SIGNING AND MARKING.
 2. ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

NOTE:
STAND ALONE BUILDING PERMITS ARE REQUIRED ON THE PRIMARY STRUCTURE, SIGNS, WALLS, FENCES, DUMPSTER CORRALS, STREET LIGHTING, IRRIGATION SYSTEMS, LIFT STATIONS AND ANY OTHER ACCESSORY STRUCTURES.



DESIGNED BY:	HLG	CHKD BY:	HLG
JOB NUMBER:	CDJ 1405.13 DC/SL	SCALE:	1"=50'
DATE:	11/2013	DRAWN BY:	HLG
REVISIONS:		DATE:	
NO.	1	DATE	
	2		
	3		
	4		
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SITE PLAN

CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA

CERTUS DNL OWNER, LLC

Engineering Consultants •
PO Box 450006 • Kissimmee, Florida 34745
Phone: (407) 738-1979 Fax: (407) 348-7552

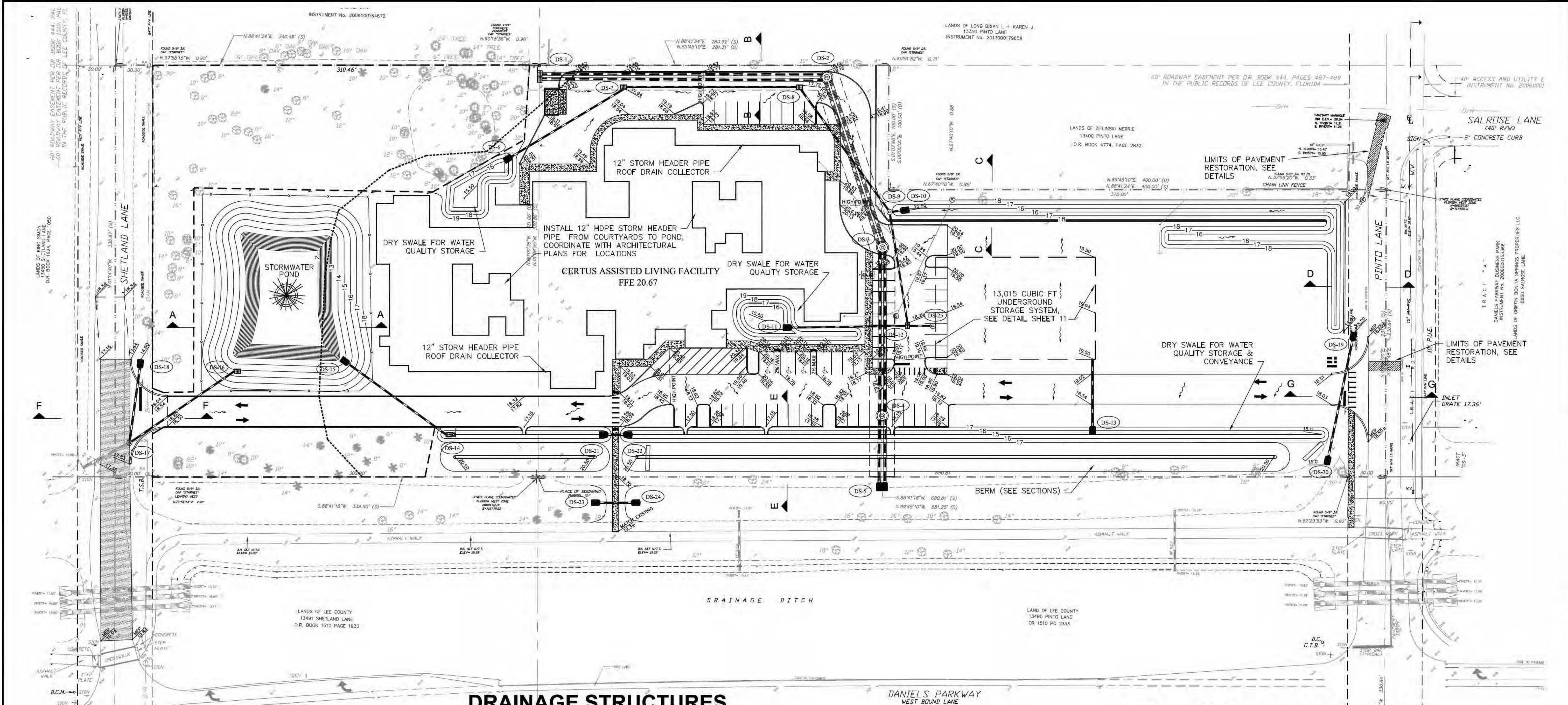
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CADAZZ, LLC
CERTIFICATION # 28509

SHEET NUMBER

4



LEGEND / ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
		PROPOSED CURB
		SITE BOUNDARY LINE
		CENTER LINE OF ROAD
		RIGHT-OF-WAY
		CONTOURS
		STORM DRAIN PIPES
		SAWCUT LINE
		RIGHT-OF-WAY
		TYPICAL
		SIDEWALK
		LINEAR FEET
		STORM DRAIN
		ELEVATION
		EXISTING
		INVERT ELEVATION
		MATCH EXISTING GRADE
		FINISH FLOOR ELEVATION
		PAVEMENT
		GRADE ELEVATION
		SLOPE
		DRAINAGE INLET
		MITERED END SECTION
		SURFACE STORMWATER FLOW DIRECTION
		STORM SEWER STRUCTURE NUMBER
		CONCRETE PAVEMENT

DRAINAGE STRUCTURES

DS-1	FOOT TYPE "H" INLET (4' GRATE) GRATE ELEVATION = 15.30 INVERT ELEVATION (E) = 11.50
DS-2	FOOT TYPE "J-8" MANHOLE (8' DIA) RIM ELEVATION = 18.10 INVERT ELEVATION (W) = 10.75 INVERT ELEVATION (S) = 10.75
DS-3	FOOT TYPE "J-8" MANHOLE (8' DIA) RIM ELEVATION = 19.15 INVERT ELEVATION (N) = 10.30 INVERT ELEVATION (S) = 10.30
DS-4	FOOT TYPE "J-8" MANHOLE (8' DIA) RIM ELEVATION = 17.35 INVERT ELEVATION (N) = 10.00 INVERT ELEVATION (S) = 12.00
DS-5	MITERED END SECTION, (DUAL 30"), SEE DETAILS INVERT ELEVATION = 14.50
DS-6	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.50
DS-7	FOOT TYPE "C" INLET W/TRAFFIC RATED GRATE GRATE ELEVATION = 17.94 INVERT ELEVATION (SW) = 14.69 INVERT ELEVATION (E) = 14.69
DS-8	FOOT TYPE "C" INLET W/TRAFFIC RATED GRATE GRATE ELEVATION = 17.72 INVERT ELEVATION (W) = 14.47 INVERT ELEVATION (SE) = 14.47
DS-9	FOOT TYPE "P-8" MANHOLE (4' DIA) RIM ELEVATION = 17.80 INVERT ELEVATION (NW) = 14.36 INVERT ELEVATION (E) = 14.50 INVERT ELEVATION (S) = 14.36
DS-10	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.50
DS-11	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.50
DS-12	FOOT TYPE "C" INLET W/TRAFFIC RATED GRATE GRATE ELEVATION = 18.26 INVERT ELEVATION (N) = 14.28 INVERT ELEVATION (W) = 14.40 INVERT ELEVATION (E) = 14.0
DS-13	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.00
DS-14	FOOT TYPE "C" INLET, SIMILAR TO DS-15 GRATE ELEVATION = 17.7 DRY PAV EL INVERT ELEVATION (NW) = 13.25 INVERT ELEVATION 3" ORIFICE = 15.00
DS-15	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 13.0
DS-16	FOOT TYPE "C" INLET, REFER TO DETAIL SHT. 8 GRATE ELEVATION = 17.54 INVERT ELEVATION 3" ORIFICE = 15.00 INVERT ELEVATION (SW) = 14.61
DS-17	FOOT TYPE "J-8" MANHOLE (5' DIA) RIM ELEVATION = 17.90 INVERT ELEVATION (NE) = 14.30 INVERT ELEVATION (N) = 14.30 INVERT ELEVATION (SW) = 14.31; CONNECT TO EXISTING
DS-18	MITERED END SECTION, (18"), SEE DETAILS INVERT ELEVATION = 14.30
DS-19	MITERED END SECTION, (18"), SEE DETAILS INVERT ELEVATION = 15.60
DS-20	MITERED END SECTION, (18"), SEE DETAILS INVERT ELEVATION = 15.5
DS-21	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.00
DS-22	MITERED END SECTION, (15"), SEE DETAILS INVERT ELEVATION = 15.00
DS-23	MITERED END SECTION, (18"), SEE DETAILS INVERT ELEVATION = 14.50
DS-24	MITERED END SECTION, (18"), SEE DETAILS INVERT ELEVATION = 14.50
DS-25	FOOT TYPE "P-8" MANHOLE (4' DIA) RIM ELEVATION = 18.33 INVERT ELEVATION (W) = 14.0 INVERT ELEVATION (E) = 15.5 INLET SUMP BOTTOM = 13.5

DRAINAGE PIPE DATA

DS-1 TO DS-2	226 LF OF DUAL 30" HDPE
DS-2 TO DS-3	138 LF OF DUAL 30" HDPE
DS-3 TO DS-4	129 LF OF DUAL 30" HDPE
DS-4 TO DS-5	58 LF OF DUAL 30" HDPE
DS-6 TO DS-7	112 LF OF 15" HDPE
DS-7 TO DS-8	137 LF OF 15" HDPE
DS-8 TO DS-9	120 LF OF 15" HDPE
DS-9 TO DS-10	14 LF OF 15" HDPE
DS-9 TO DS-12	89 LF OF 15" HDPE
DS-11 TO DS-12	98 LF OF 15" HDPE
DS-12 TO STORAGE	21 LF OF 15" HDPE
STORAGE TO DS-13	61 LF OF 15" HDPE
DS-14 TO DS-15	104 LF OF 15" HDPE
DS-16 TO DS-17	101 LF OF 12" HDPE
DS-18 TO DS-17	66 LF OF 14"x23" ERCP
DS-19 TO DS-20	109 LF OF 14"x23" ERCP
DS-21 TO DS-22	27 LF OF 15" HDPE
DS-23 TO DS-24	39 LF OF 18" HDPE

STORMWATER SUMMARY

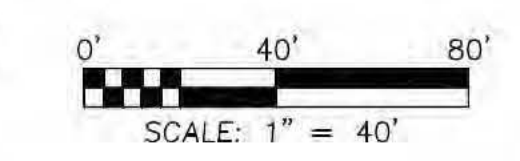
FEMA FLOOD MAP ZONE X PANEL 12071C0437G
MINIMUM 100 YEAR 3 DAY ZERO DISCHARGE FINISH FLOOR ELEVATION = 18.65 FEET
PROPOSED BUILDING FINISHED FLOOR ELEVATION = 20.67 FEET
MINIMUM ROAD CROWN ELEVATION (5 YEAR 24 HOURS STAGE) = 17.15 FEET
LOWEST DESIGN PARKING LOT ELEVATION = 17.15 FEET
MINIMUM 25 YEAR 3 DAY STAGE = 17.85 FEET
LOWEST PROPOSED BOUNDARY ELEVATION = 18.0 FEET
POLLUTION ABATEMENT ELEVATION = 17.70 FEET @ INLET DS-14
PROJECT CONTROL ELEVATION (SEASONAL HIGH WATER ELEVATION) = 15.0 FEET

CONSTRUCTION NOTES

ALL ELEVATIONS ARE BASE ON NAVD 1988
DRIVEWAY CONNECTIONS ELEVATIONS HAVE BEEN PROJECTED BASED ON EXISTING FIELD CONDITIONS. VERIFY AND MAINTAIN EXISTING CUTTER FLOWLINES AND MATCH EXISTING EDGE OF PAVEMENTS DURING INSTALLATION OF DRIVEWAY CONNECTIONS.
CONTRACTOR SHALL PROVIDE TEES, BENDS AND CONNECTING MATERIALS PROVIDING A ROOF DRAIN CONNECTION TO 12" ROOF HEADER PIPE, INCLUDING CLEAN OUTS, AS SHOWN ON THIS PLAN. CONTRACTOR TO LOCATE BUILDING ROOF DOWNSPOUT LOCATIONS PRIOR TO CONSTRUCTING THE 12" PVC HEADER, IF BUILDING PLAN LOCATIONS ARE DIFFERENT THAN PLAN, NOTIFY ENGINEER PRIOR TO INSTALLATION. MAINTAIN MINIMUM 12" COVER OVER PVC HEADER.

CONTRACTOR NOTES

1. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITIES OWNER'S RECORD DRAWINGS, BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THE UTILITY OWNER'S RECORD DRAWINGS. THE SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY MODIFICATION REQUIRED, OTHER THAN SHOWN ON PLANS.
2. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITY AND STORM DRAINAGE FROM BUILDING. IF ANY SUBSTANTIAL DEVIATIONS FROM THIS PLAN, NOTIFY ENGINEER AND OBTAIN WRITTEN INSTRUCTIONS PRIOR TO START OF CONSTRUCTION.



DESIGNED BY:	HLG	CHKD BY:	HLG
DRAWN BY:	HLG	SCALE:	1"=40'
DATE:	11/2013	NO.	1
REVISIONS:		DATE:	
		NO.	2
		DATE:	
		NO.	3
		DATE:	
		NO.	4
		DATE:	
		NO.	5

PAVING, GRADING AND DRAINAGE PLAN
CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA
CERTUS DNL OWNER, LLC

CADAZZ
Engineering Consultants
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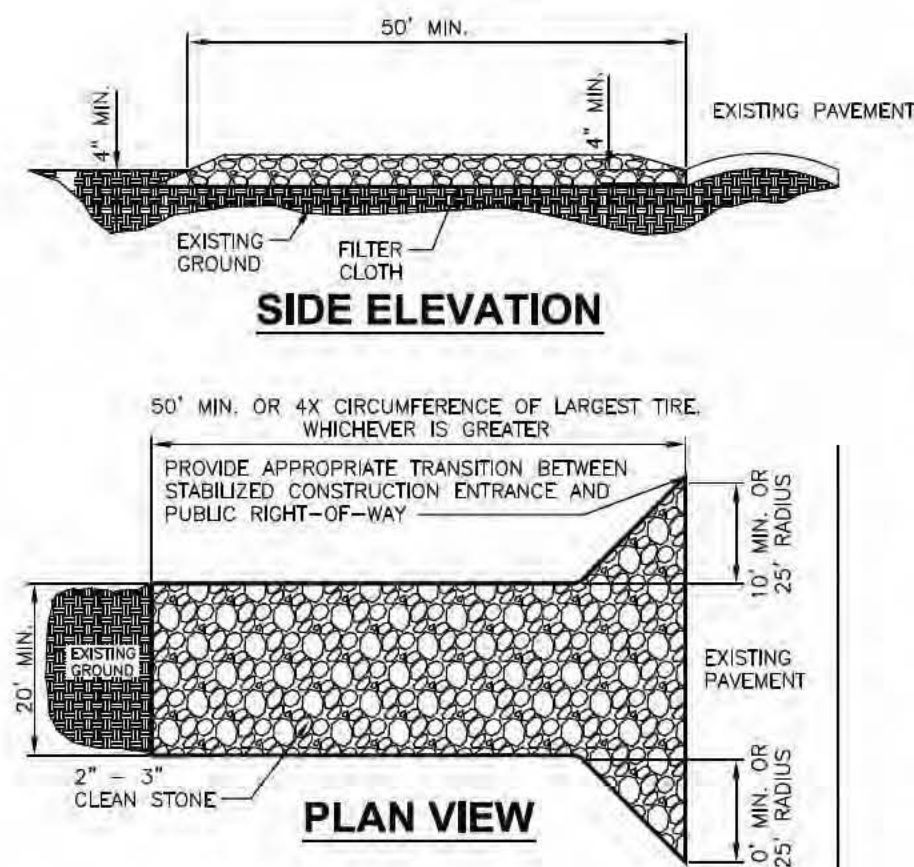
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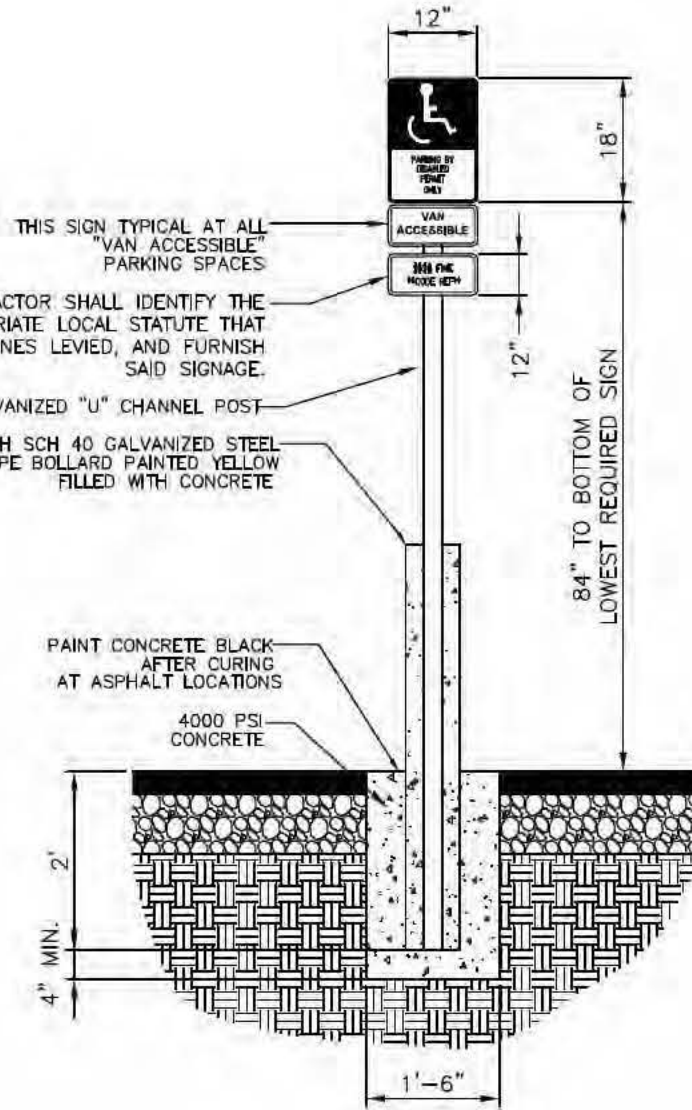
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STABILIZED CONSTRUCTION ENTRANCE

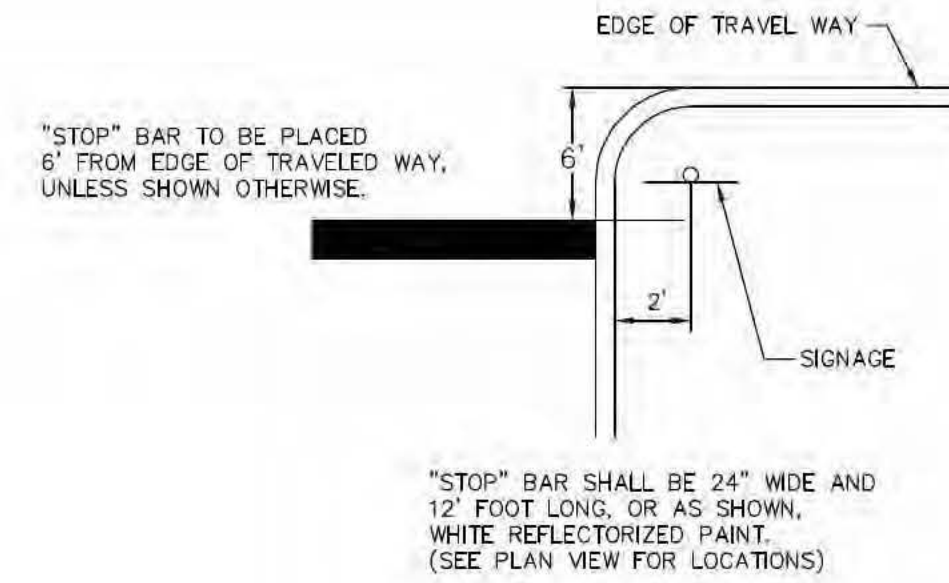
CONSTRUCTION SPECIFICATIONS

1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE).
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. 12" X 24" METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

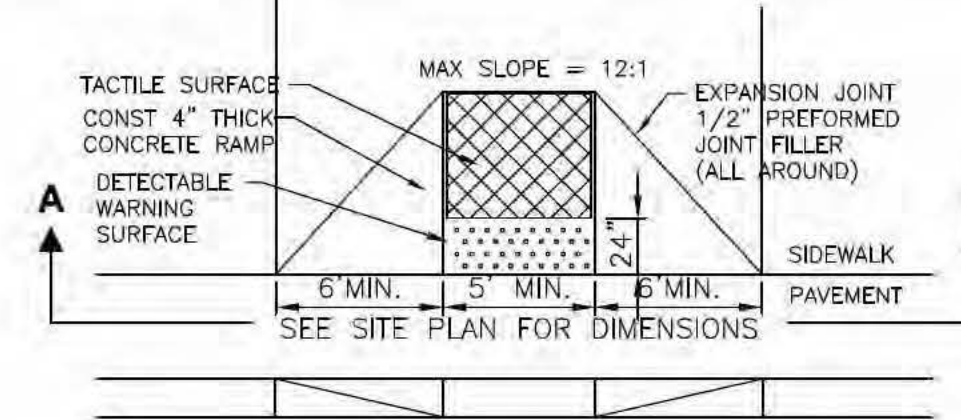


HANDICAP SIGN DETAIL

SCALE = NTS



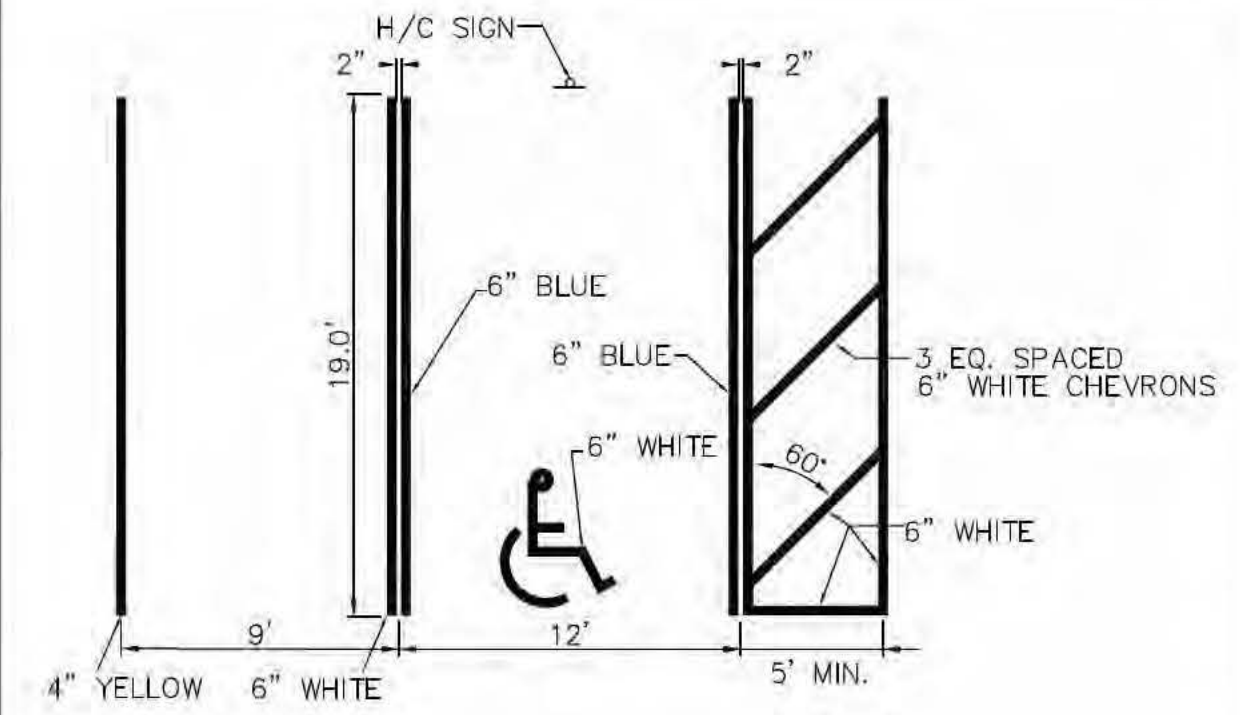
STOP BAR
DETAIL WITH SIGNAGE



HANDICAPPED RAMP

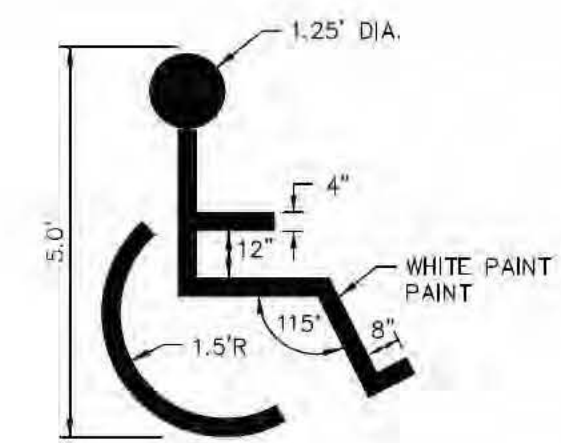
SCALE = NTS

- NOTES:
1. TACTILE SURFACES SHALL BE CONSTRUCTED BY TEXTURING TO A DEPTH NOT EXCEEDING 1/8" BY USE OF A TAMP OR ROLLER FABRICATED WITH AN IMPRINT SURFACE OF EITHER 1" MESH 0.250 WIRE CLOTH (PLAIN WEAVE, CONVENTIONAL CRIMP), #6 EXPANDED METAL (STANDARD) OR 3 LB. EXPANDED METAL GRATING.
 2. DETECTABLE WARNING SURFACE SHALL BE INSTALL IN ACCORDANCE WITH F.D.O.T. INDEX 304 AND A.D.A. STANDARDS. PER F.D.O.T. AND A.D.A. STANDARDS, THE COLOR REQUIREMENTS FOR THE DETECTABLE WARNING SURFACE SHALL PROVIDE A DARK-ON-LIGHT OR LIGHT-ON-DARK CONTRAST BETWEEN THE DETECTABLE WARNING SURFACE AND THE ADJACENT WALKING SURFACE.



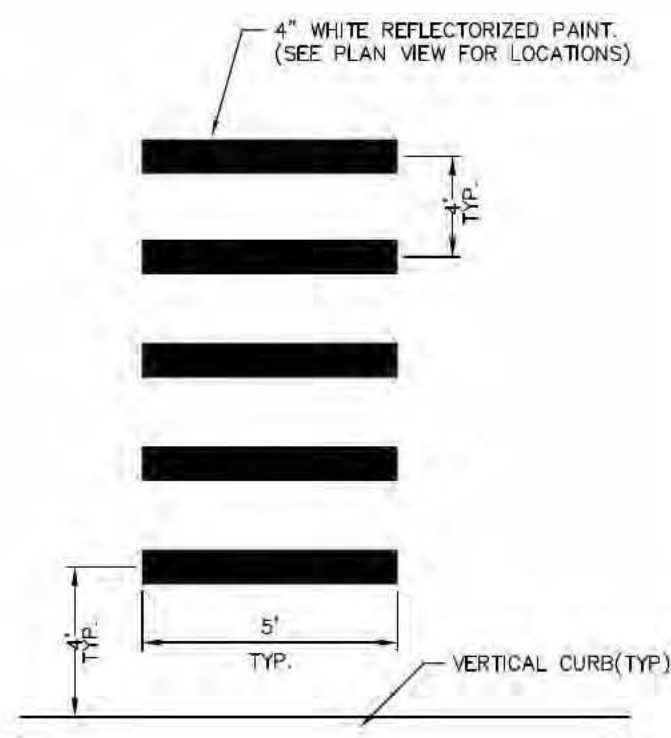
ADA PARKING STALL DETAIL

(NOT TO SCALE)

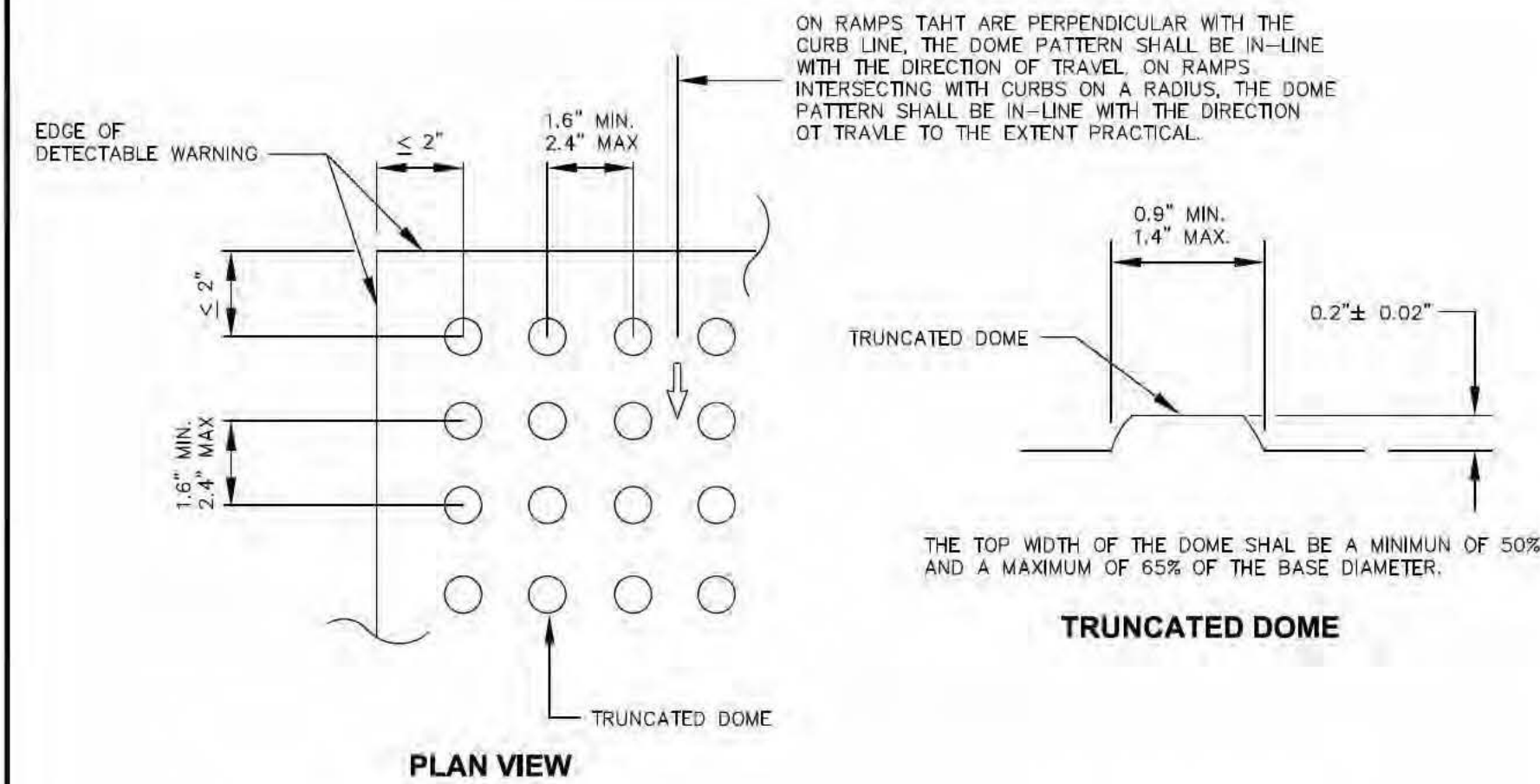


HANDICAP PAVEMENT
SYMBOL DETAIL

SCALE = NTS

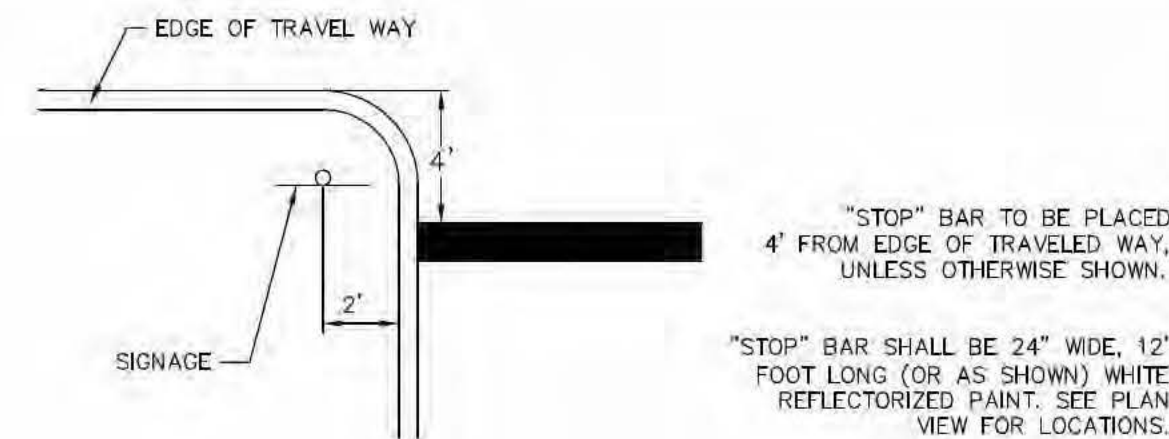


PEDESTRIAN CROSSING
STRIPING



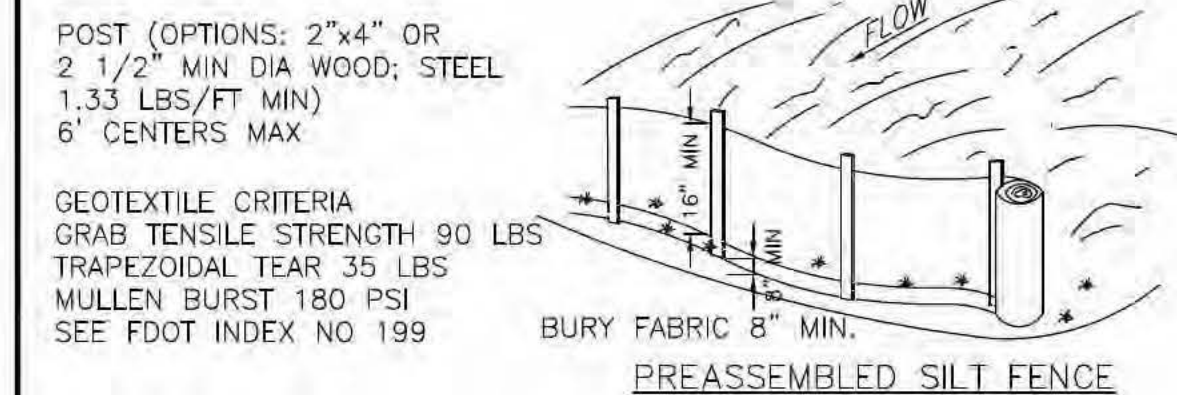
CURB RAMP DETECTABLE WARNING DETAIL

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" (6' MIN) FROM THE BACK OF CURB.

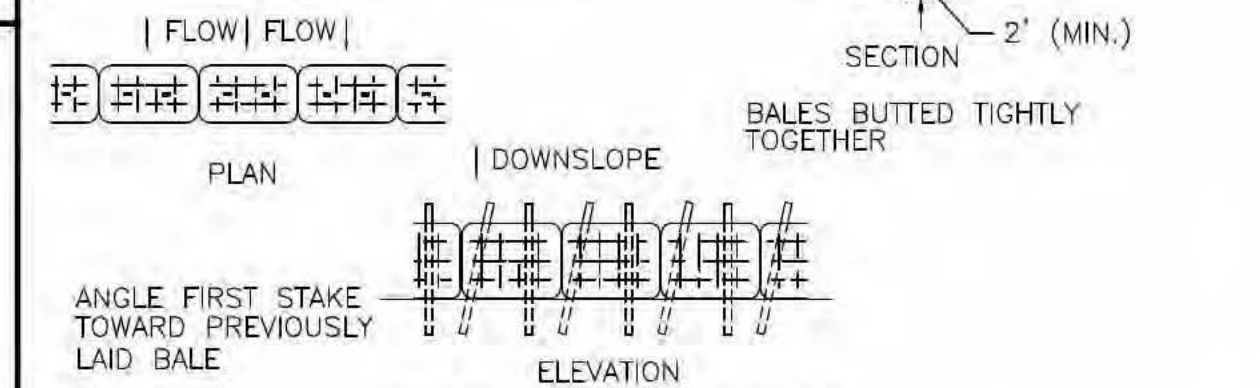


STOP BAR
DETAIL WITH SIGNAGE

SCALE = NTS



STORMWATER INLET



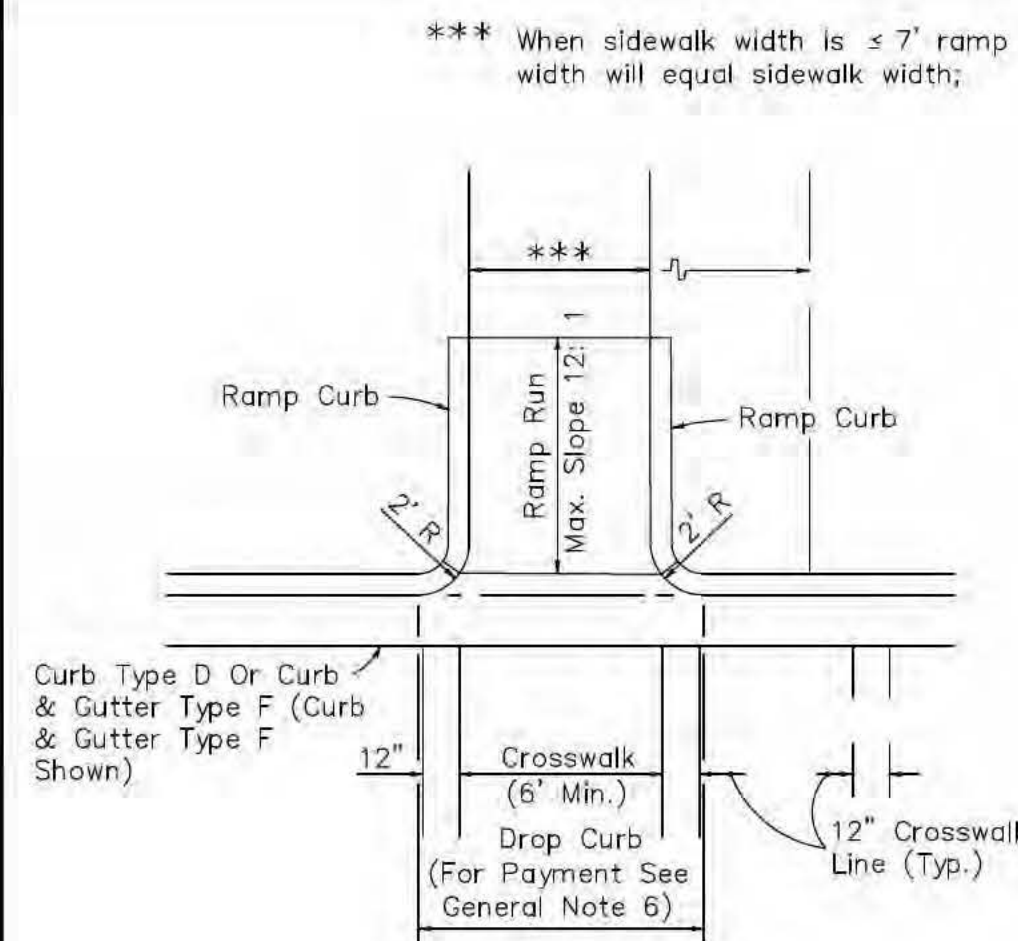
STRAW BALE SILT BARRIER

EROSION CONTROL/WATER QUALITY MANAGEMENT PRACTICES

1. THE CONTRACTOR MUST SELECT, IMPLEMENT, AND OPERATE ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARD AS SPECIFIED IN CHAPTERS 17-301, 17-302, 17-4, F.A.C. THE CONTRACTOR IS ENCOURAGED TO USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DER, 1988).
2. THE CONTRACTOR SHALL CONTROL TURBID RUNOFF FROM THE PROJECT BY ROUGH EXCAVATING THE PROPOSED RETENTION AREAS IMMEDIATELY FOLLOWING CLEARING AND GRUBBING OPERATIONS. ALL DEMATERING DISCHARGE SHALL BE DIRECTED TO THESE AREA(S) FOR SETTLING PRIOR TO DISCHARGE OFF-SITE.
3. THE CONTRACTOR SHALL INSTALL WATER QUALITY CONTROL DEVICES ALONG THE SITE PERIMETER/AS DESIGNATED ON THESE PLANS. THE CONTRACTOR SHALL RECEIVE THE ENGINEERS APPROVAL OF THE INSTALLATION PRIOR TO ANY OTHER SITE CONSTRUCTION.
4. ALL EROSION CONTROL/WATER QUALITY DEVICES SHALL BE IN ACCORDANCE WITH INDEXES 102 AND 103 OF THE LATEST EDITION OF THE FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS". SILT FENCES, HAY BALES, AND/OR TURBIDITY BARRIERS SHALL BE INSTALLED AT ALL OFF-SITE DISCHARGE POINTS. ALL EROSION CONTROL/WATER QUALITY DEVICES SHALL BE LEFT IN PLACE UNTIL THE DISTURBED AREAS ARE COMPLETELY STABILIZED AND/OR VEGETATED.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SOIL MOISTURE TO PREVENT WIND GENERATED SOIL EROSION. ALL SURFACES 30 OR MORE DAYS SHALL BE VEGETATED WITH A TEMPORARY OR PERMANENT COVER.
6. REFER TO FDOT INDEX 102 FOR EROSION CONTROL STANDARDS.

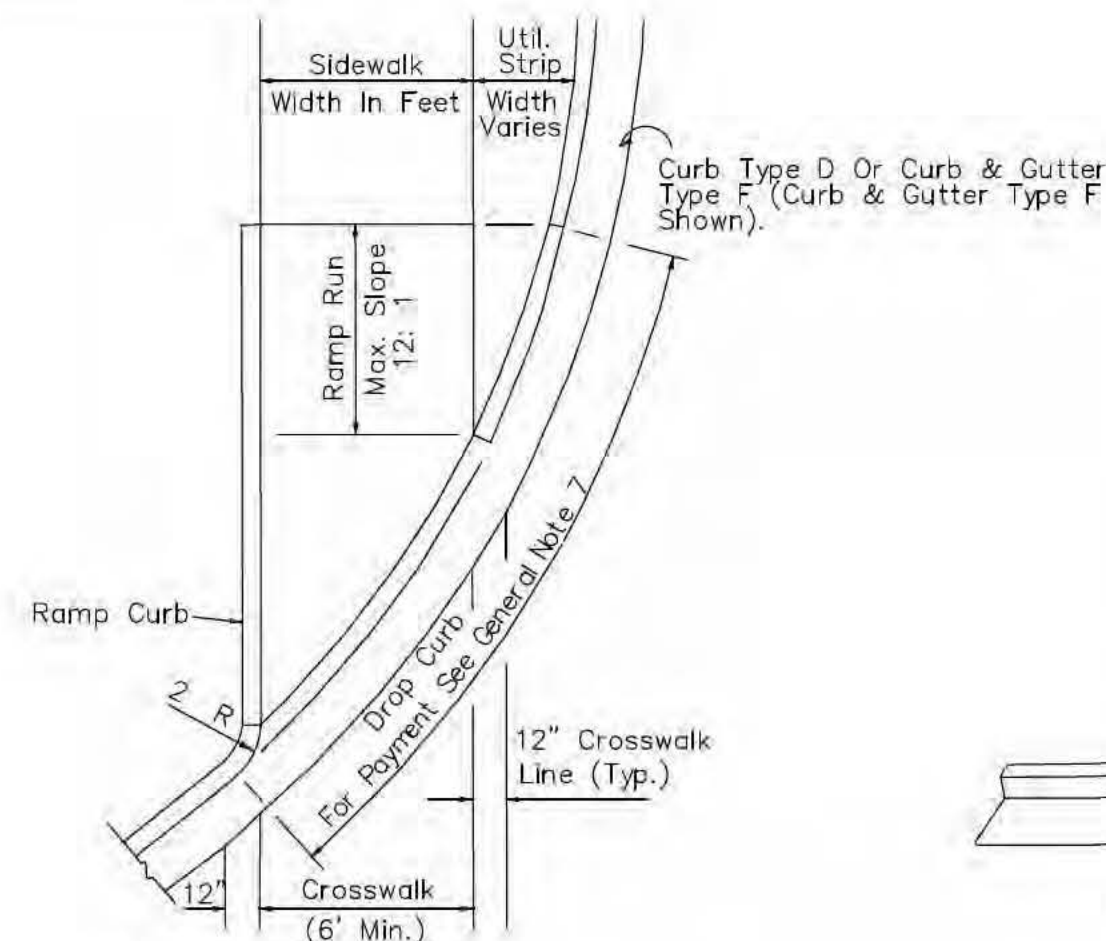
EROSION CONTROL DETAIL

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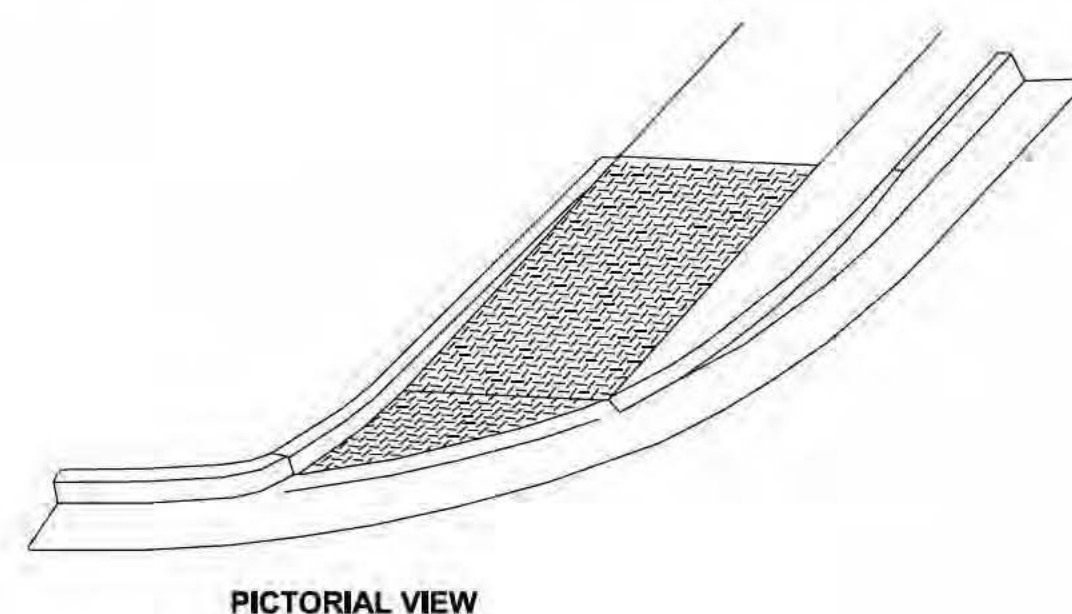
FDOT CURB RAMP CR-E

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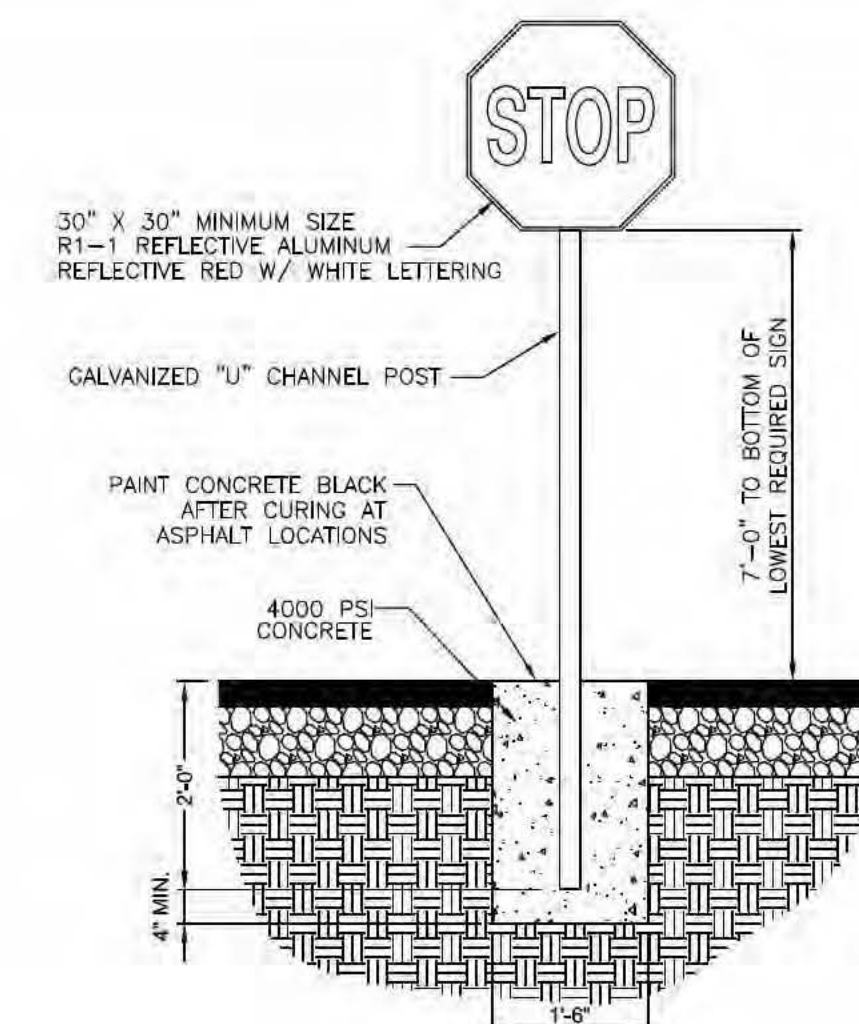
FDOT CURB RAMP CR-F

SCALE = NTS



PICTORIAL VIEW

PER FDOT INDEX 304



STOP SIGN DETAIL

SCALE = NTS

SIGN, PARKING & EROSION CONTROL DETAILS

CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA

CERTUS DNL OWNER, LLC



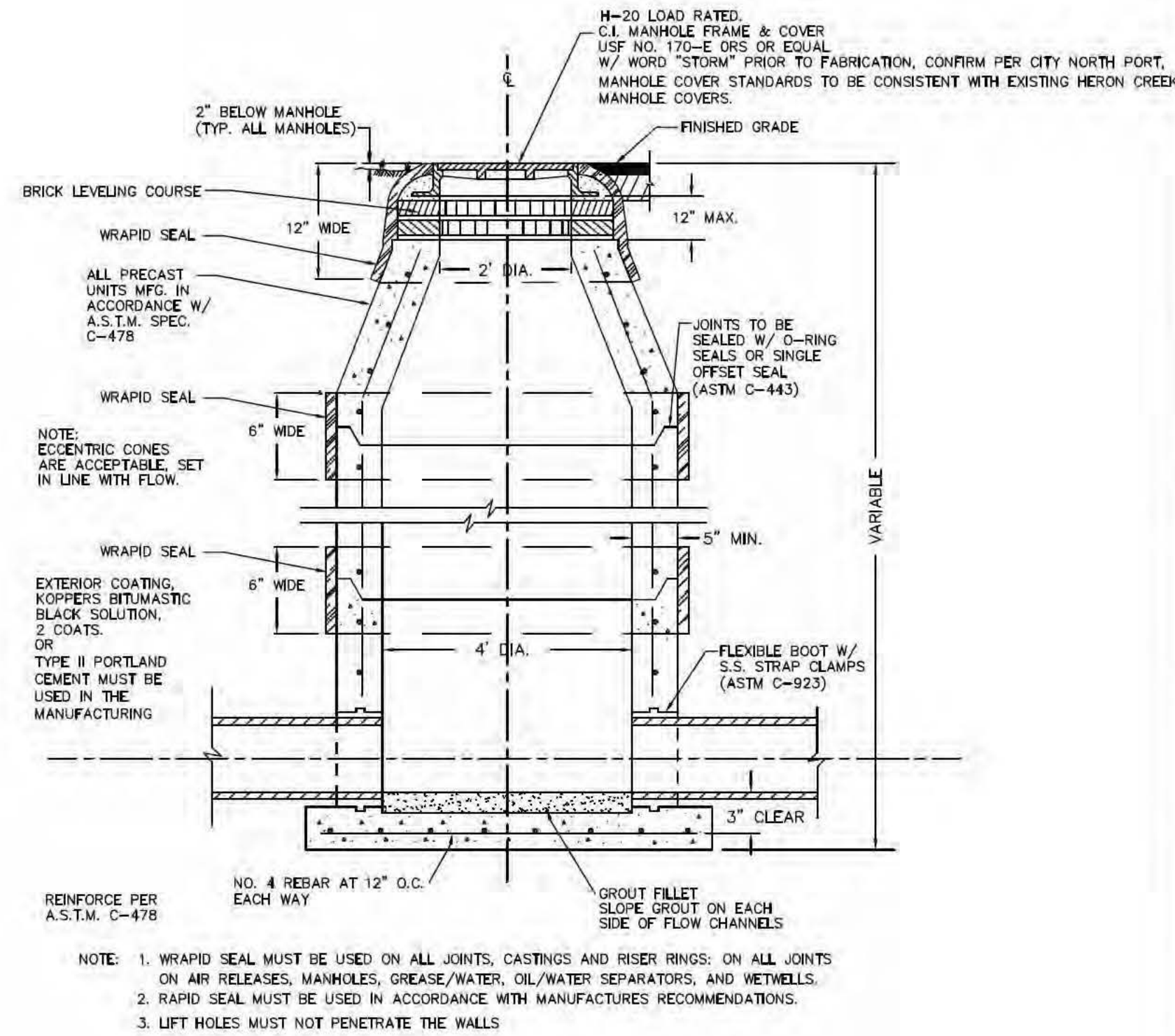
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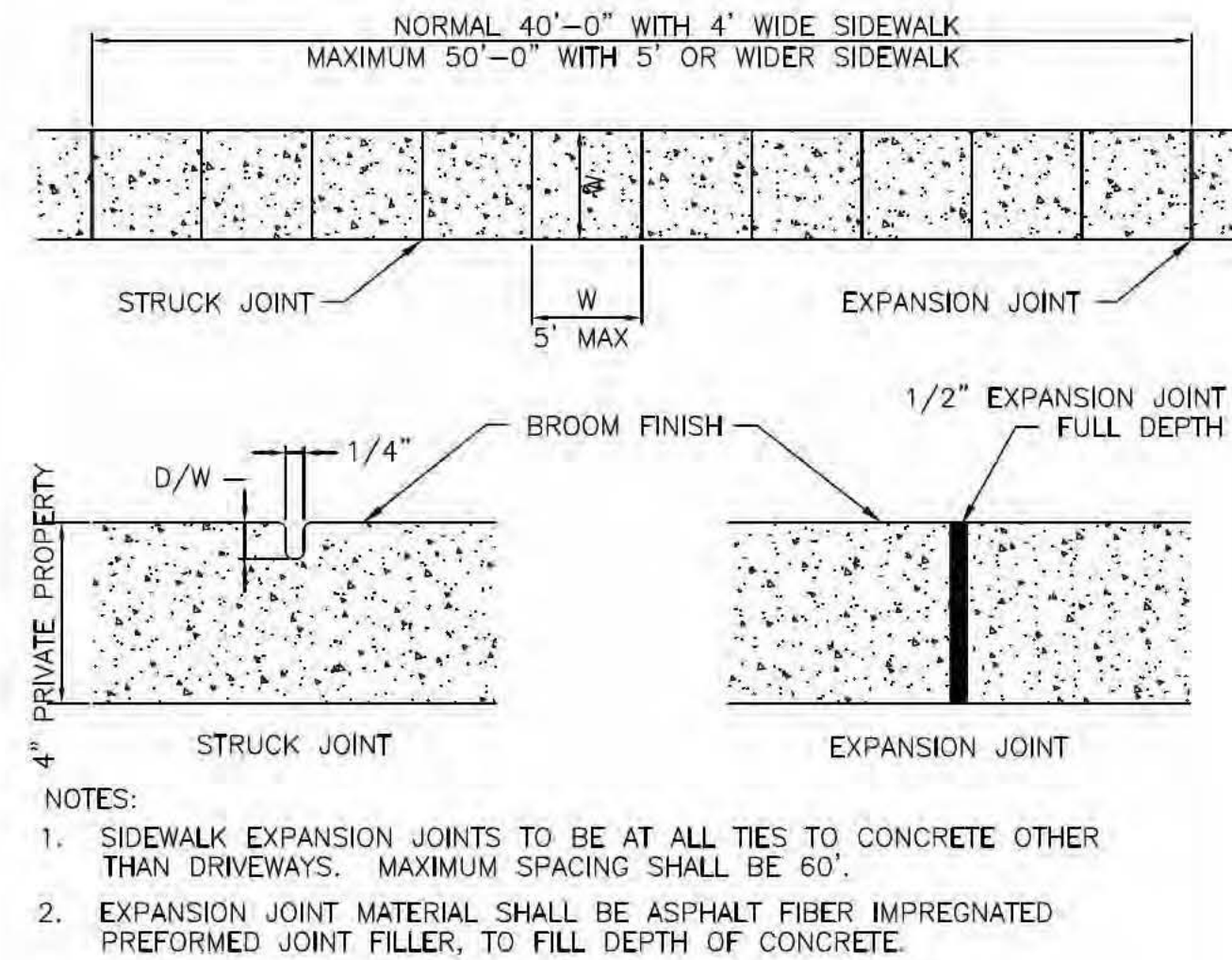
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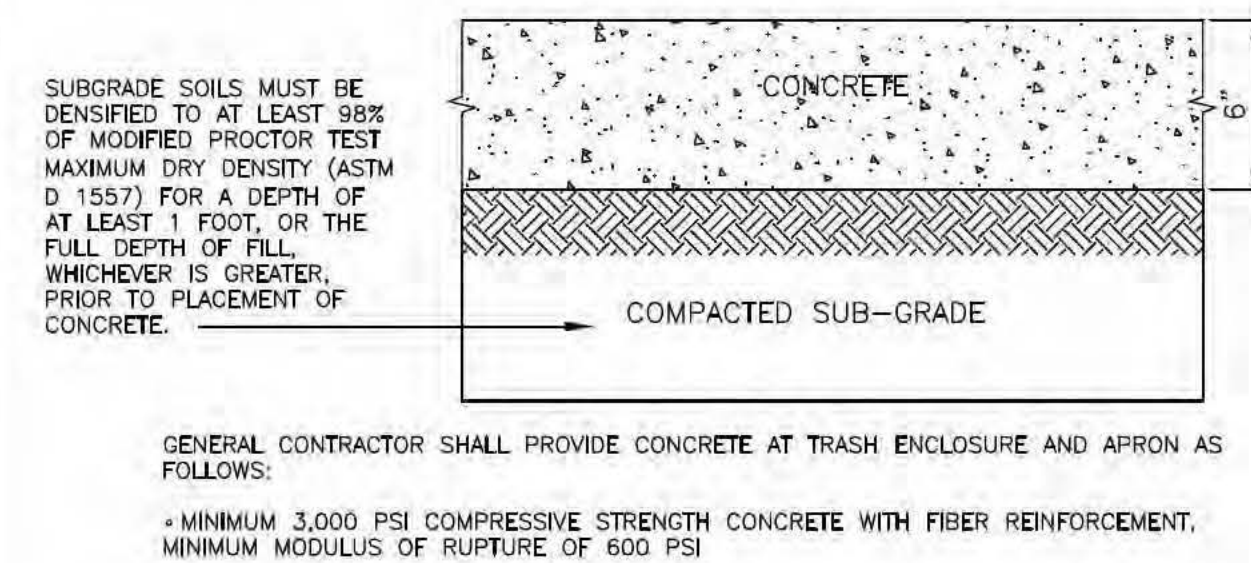
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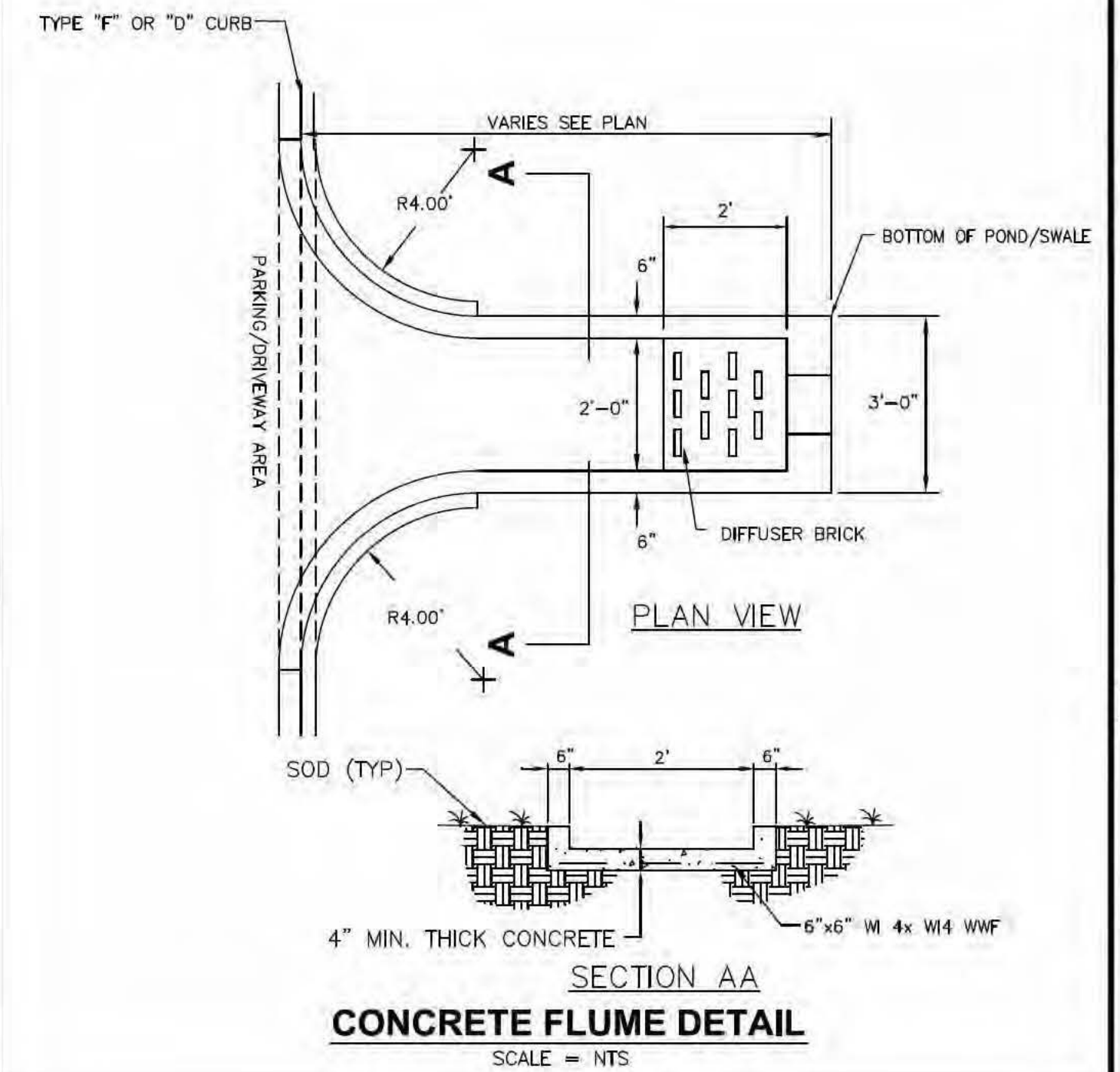
STANDARD MANHOLE



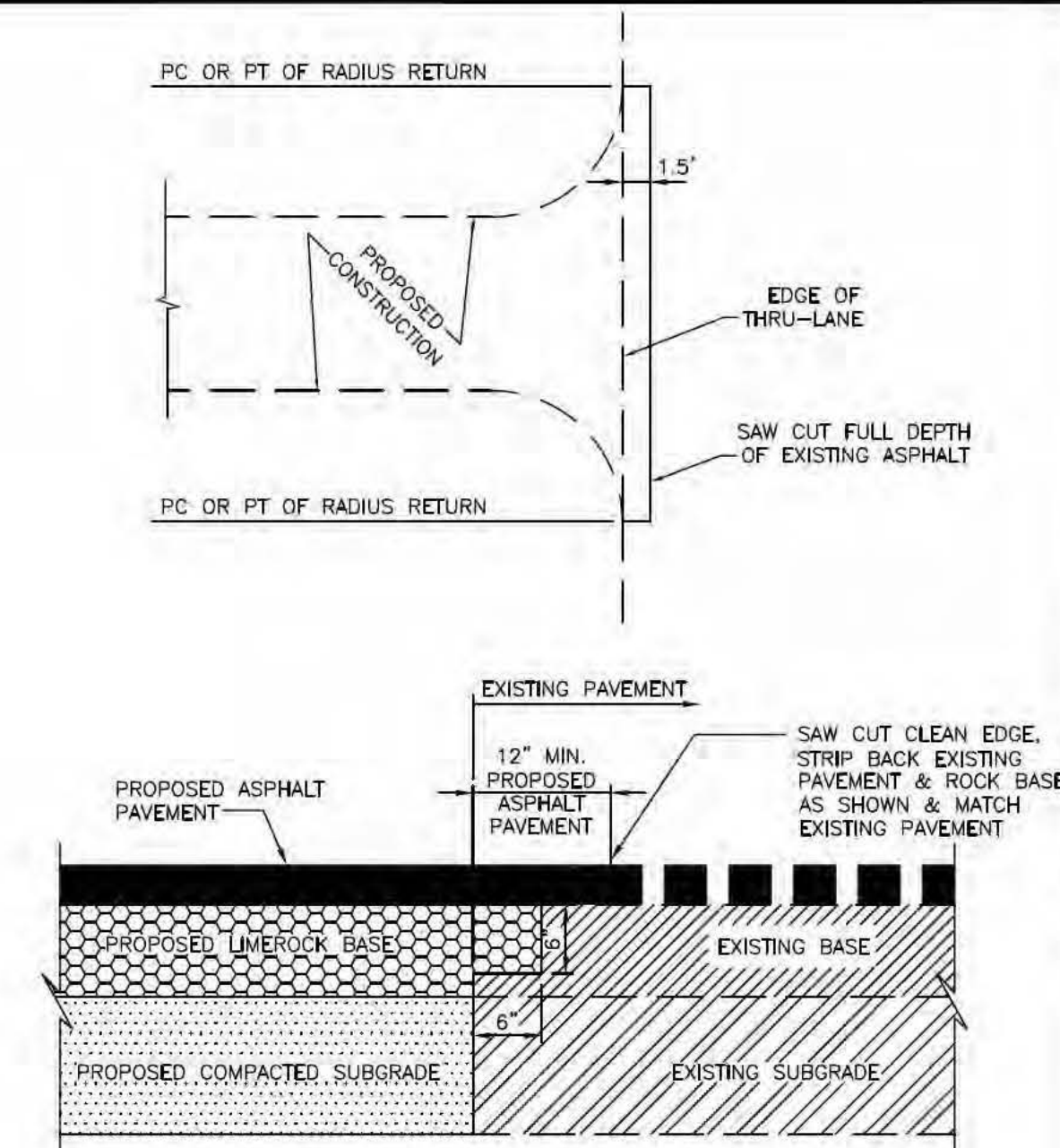
TYPICAL SIDEWALK
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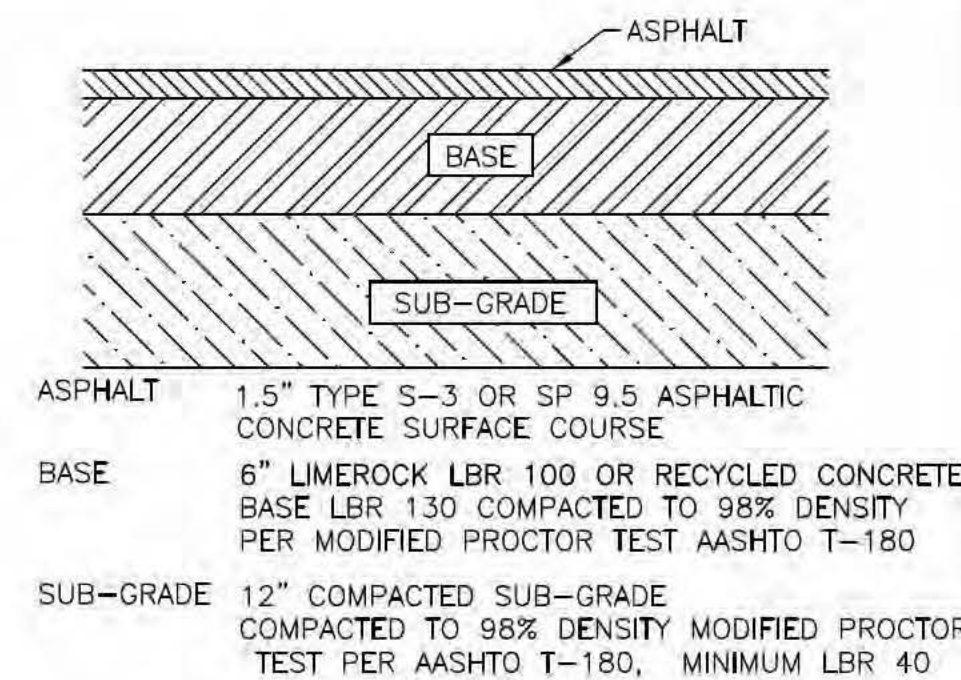
TYPICAL CONCRETE PAVEMENT DETAIL
SCALE = NTS



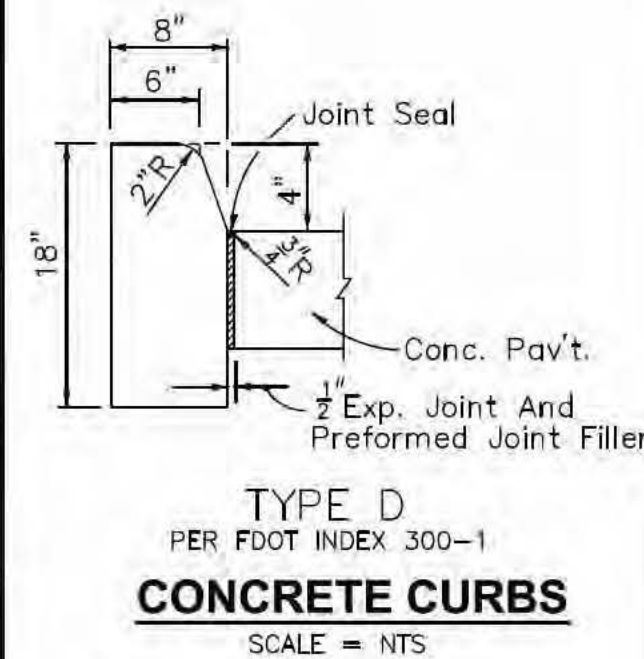
CONCRETE FLUME DETAIL
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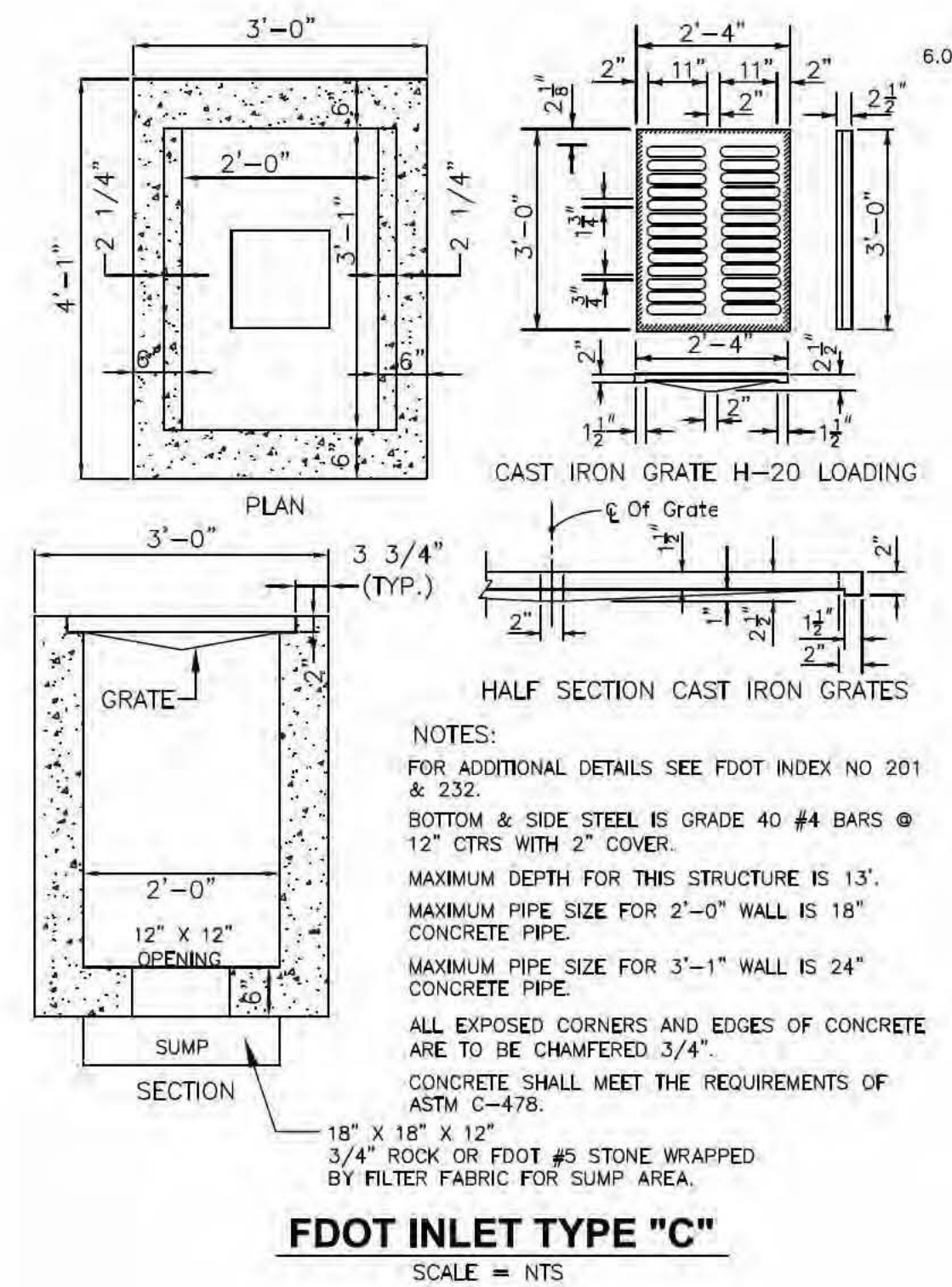
PAVEMENT CONNECTION DETAIL AT EXISTING AISLES & DRIVEWAYS
SCALE = NTS



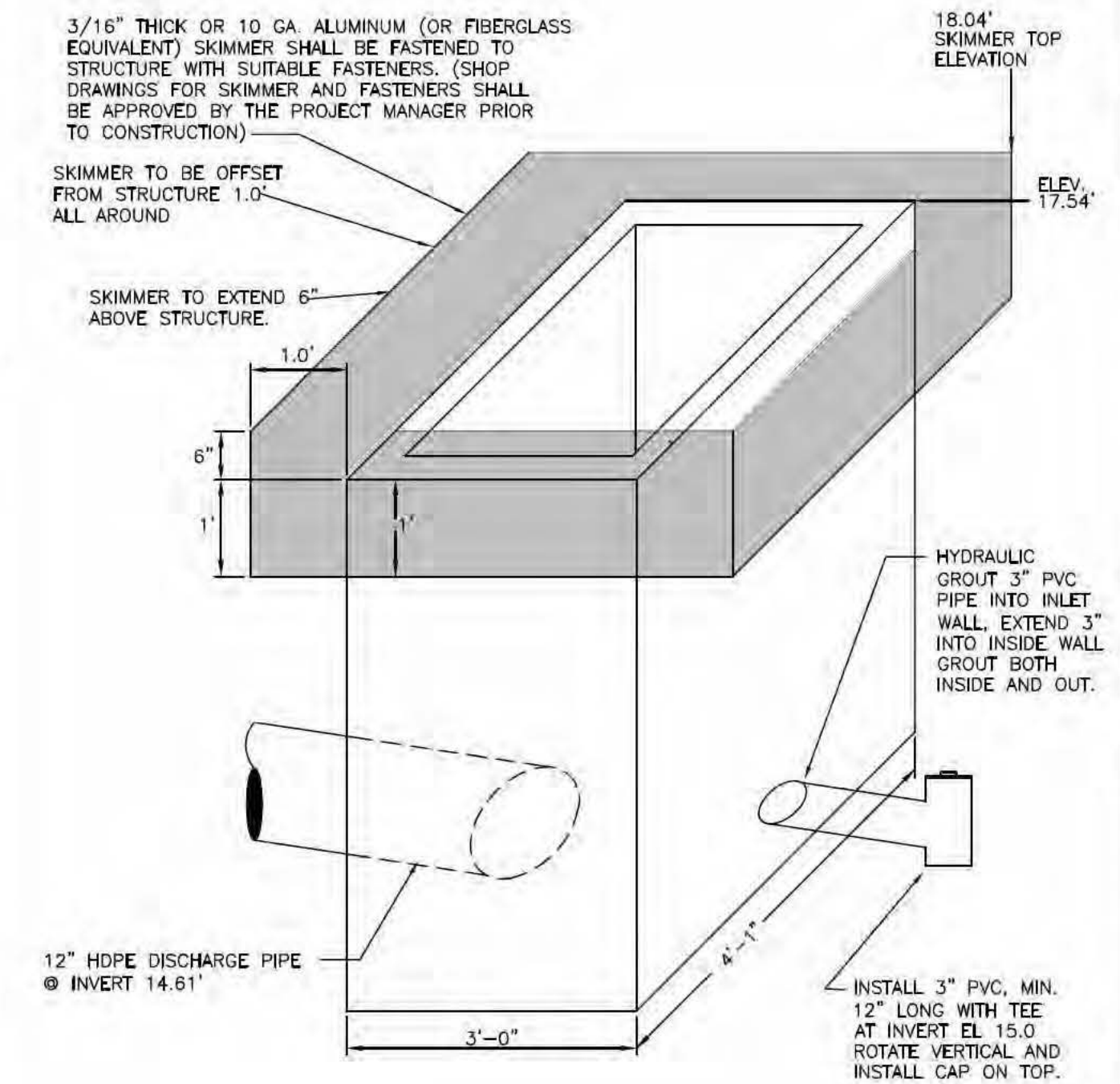
TYPICAL ASPHALT PAVEMENT DETAIL
SCALE = NTS



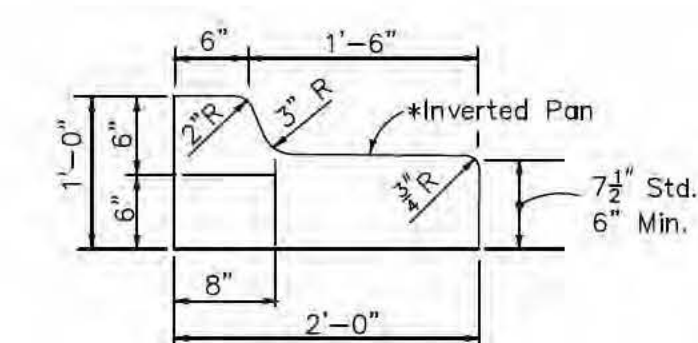
CONCRETE CURBS
SCALE = NTS



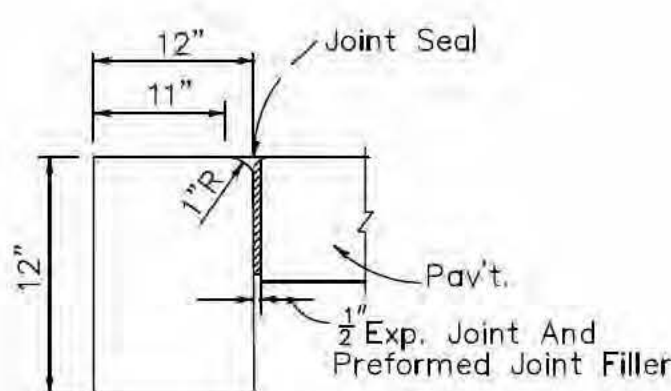
FDOT INLET TYPE \"C\"
SCALE = NTS



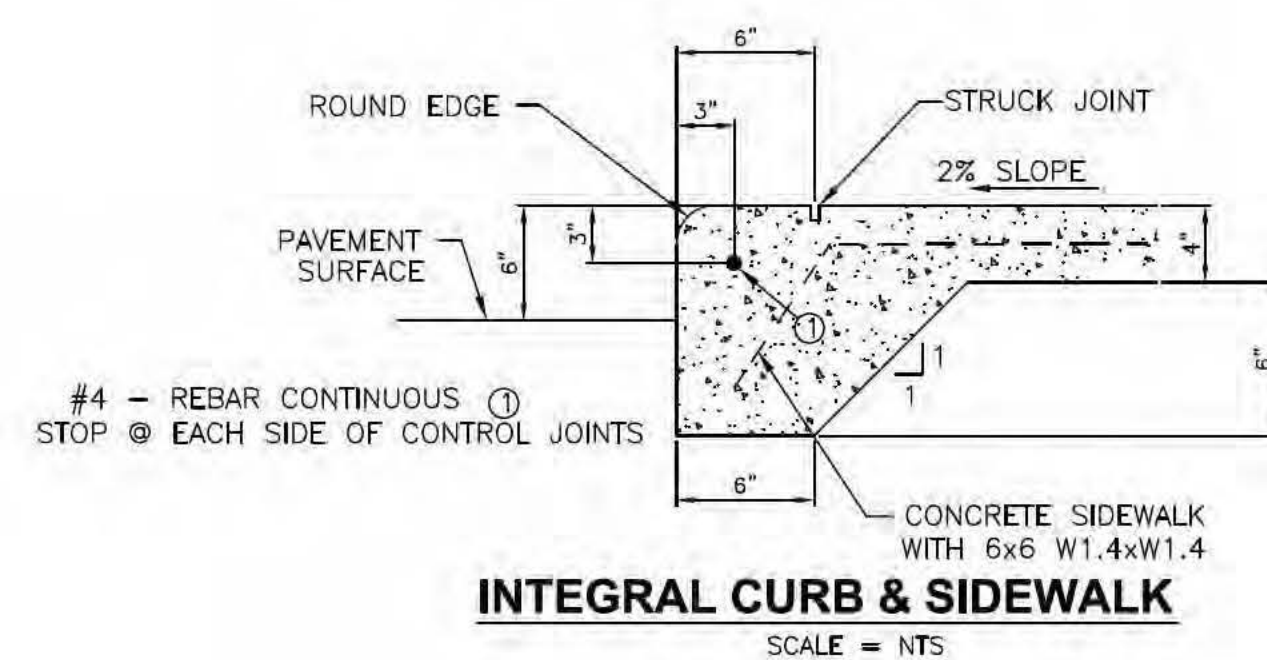
DS-15
F.D.O.T. INDEX No. 232
MODIFIED TYPE \"C\" INLET
OUTFALL CONTROL STRUCTURE



TYPICAL CONCRETE CURBS
SCALE = NTS



CONC. FLUSH HEADER CURBS
SCALE = NTS



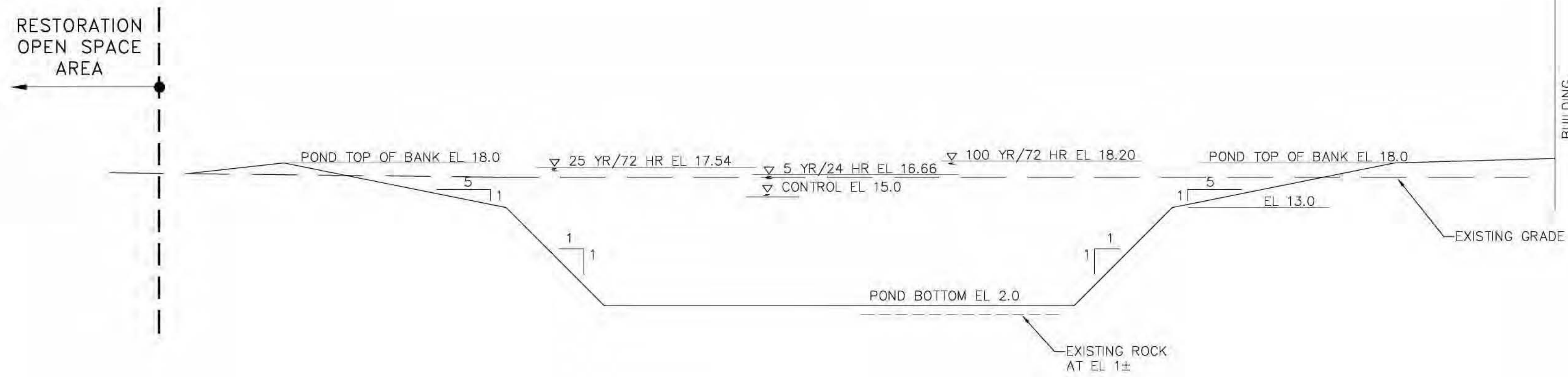
INTEGRAL CURB & SIDEWALK
SCALE = NTS

PAVING AND DRAINAGE DETAILS
CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA
CERTUS DNL OWNER, LLC

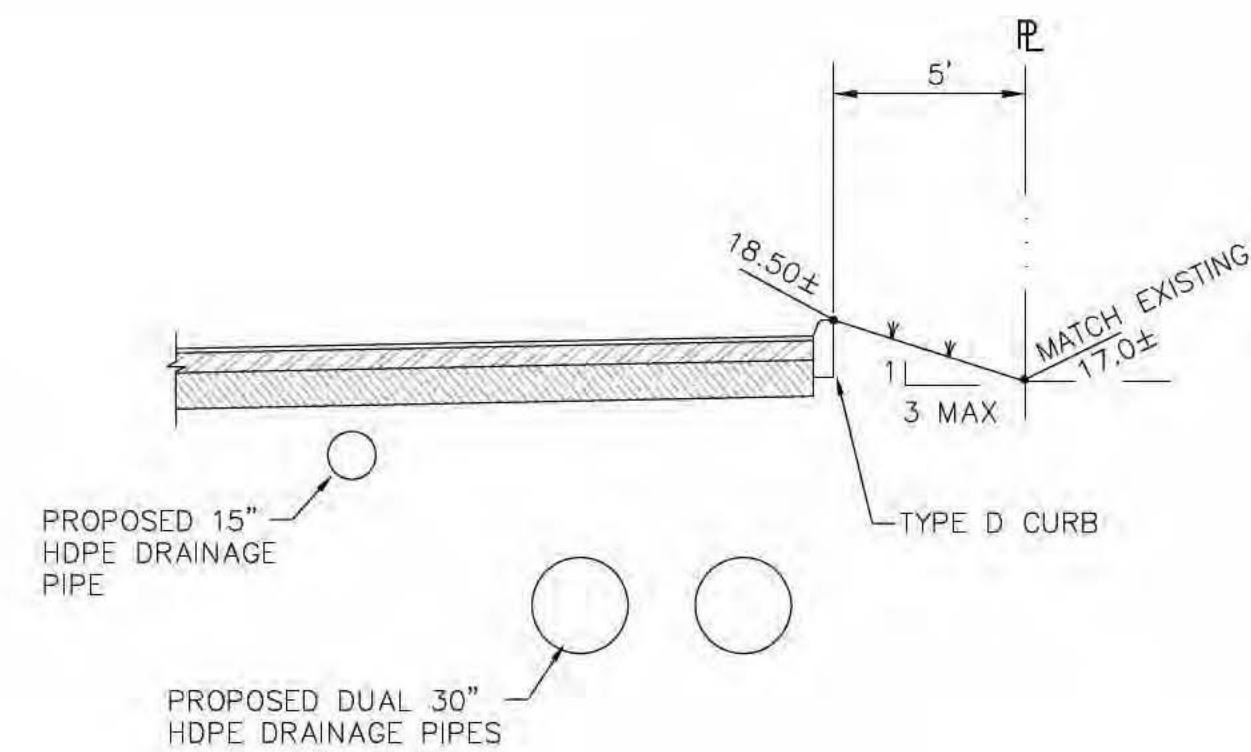
CADIAZZ
Engineering Consultants
PO Box 450006 • Kissimmee, Florida 34145
Phone: (407) 738-1979 Fax: (407) 348-7552

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A REGISTERED ENGINEER
CADIAZZ, LLC
CERTIFICATION # 28509

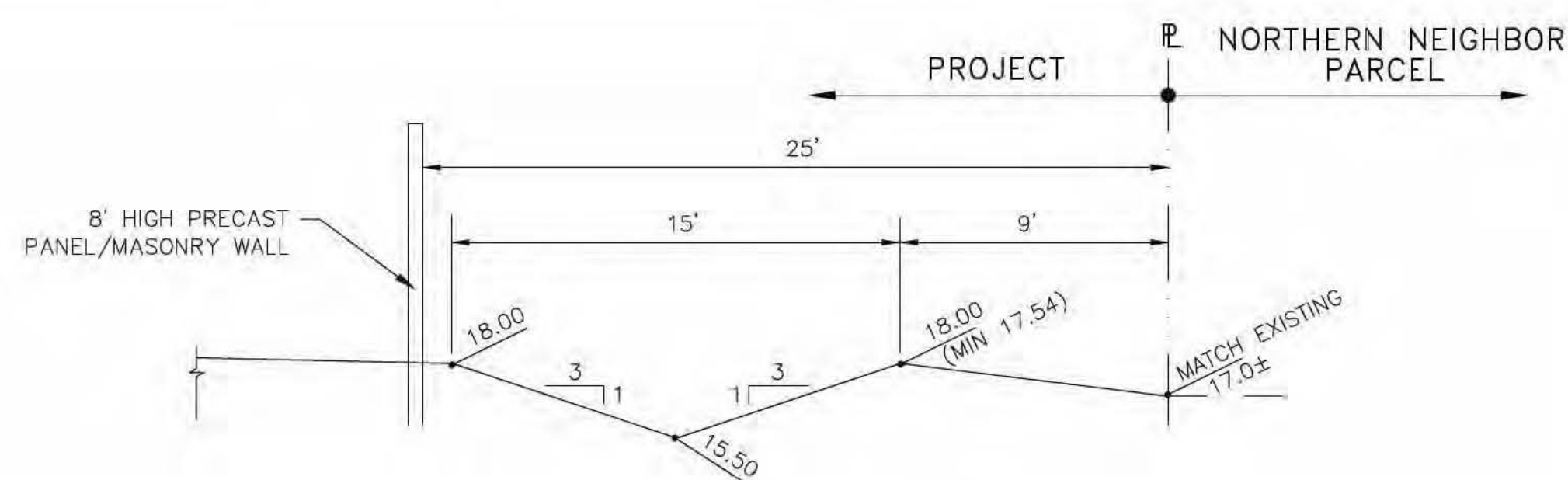
SHEET NUMBER
8



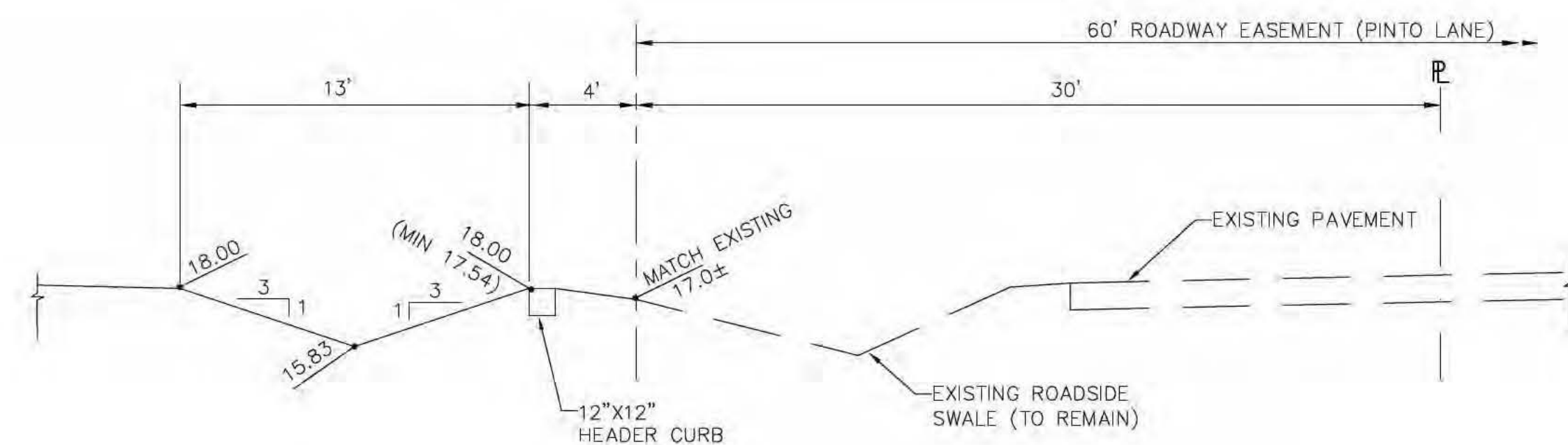
**STORMWATER POND SECTION
SECTION A - A**
SCALE: 1" = 10'



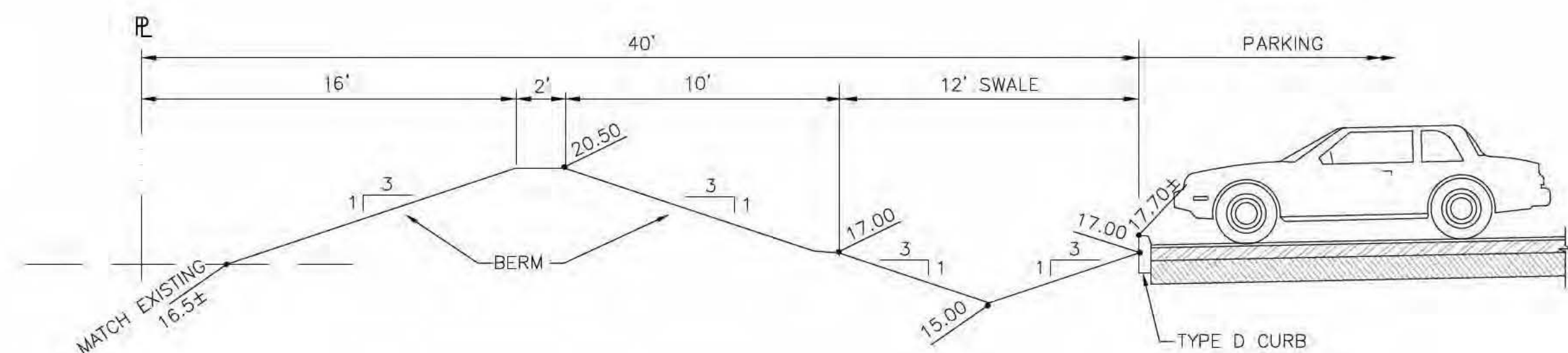
**TYPICAL DRIVEWAY SECTION
SECTION B - B**
SCALE: 1" = 5'



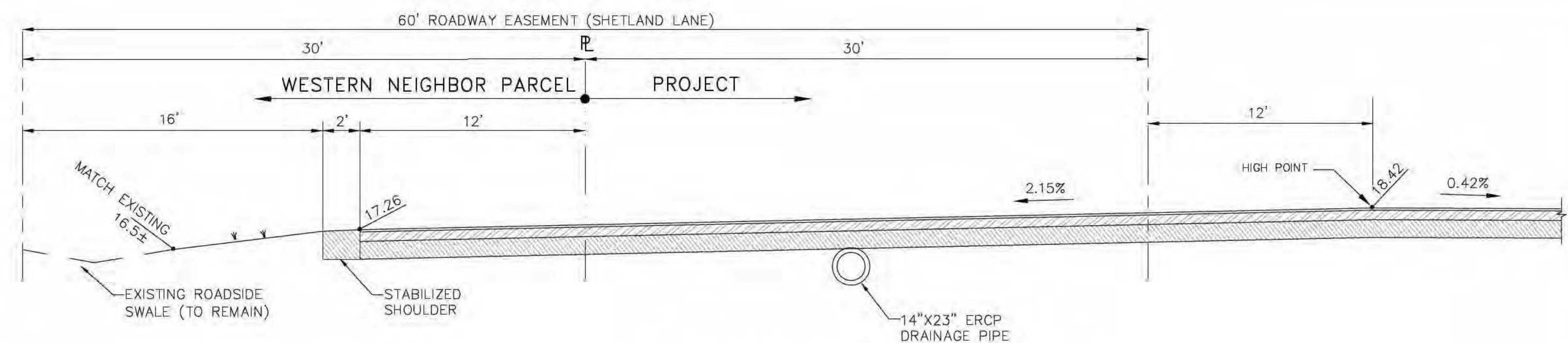
**TYPICAL SWALE SECTION
SECTION C - C**
SCALE: 1" = 5'



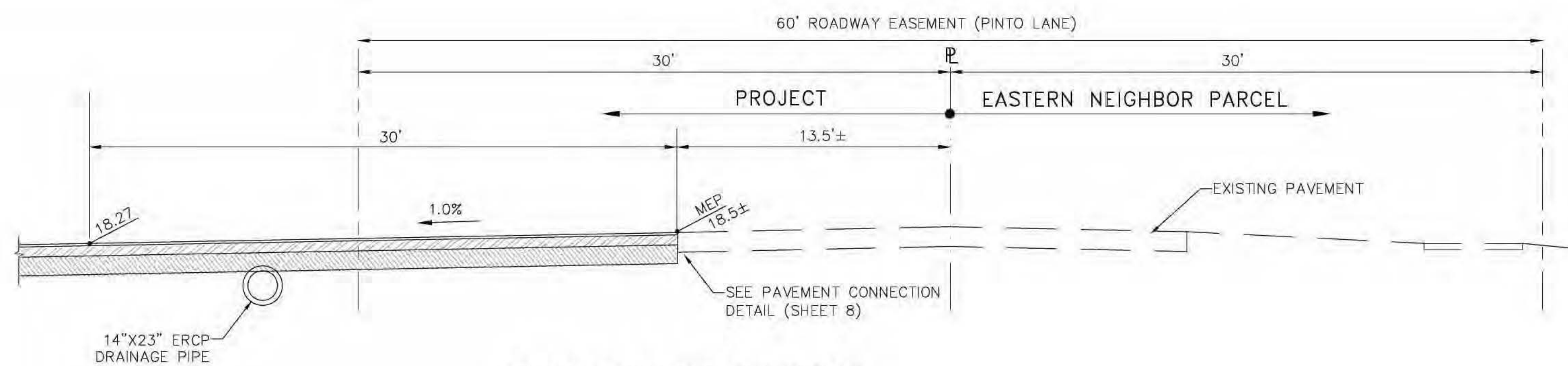
**TYPICAL SWALE SECTION
SECTION D - D**
SCALE: 1" = 5'



**TYPICAL BERM AND SWALE SECTION
SECTION E - E**
SCALE: 1" = 5'



**TYPICAL ROADWAY SECTION
SECTION F - F**
SCALE: 1" = 5'



**TYPICAL ROADWAY SECTION
SECTION G - G**
SCALE: 1" = 5'

DESIGNED BY:	HUG	CHECKED BY:	HUG	DRAWN BY:	SEF	DATE:	10/20/14	SCALE:		NO.	1	2	3	4	5
JOB NUMBER:	CD020111EPMD	REVISIONS													
DATE:															

CROSS SECTIONS AND DETAILS
CERTUS ASSISTED LIVING FACILITY
LEE COUNTY, FLORIDA
CERTUS DNL OWNER, LLC

CADIAZZ
Engineering Consultants
PO Box 450006 • Kissimmee, Florida 34745
Phone: (407) 738-1979 Fax: (407) 348-7552

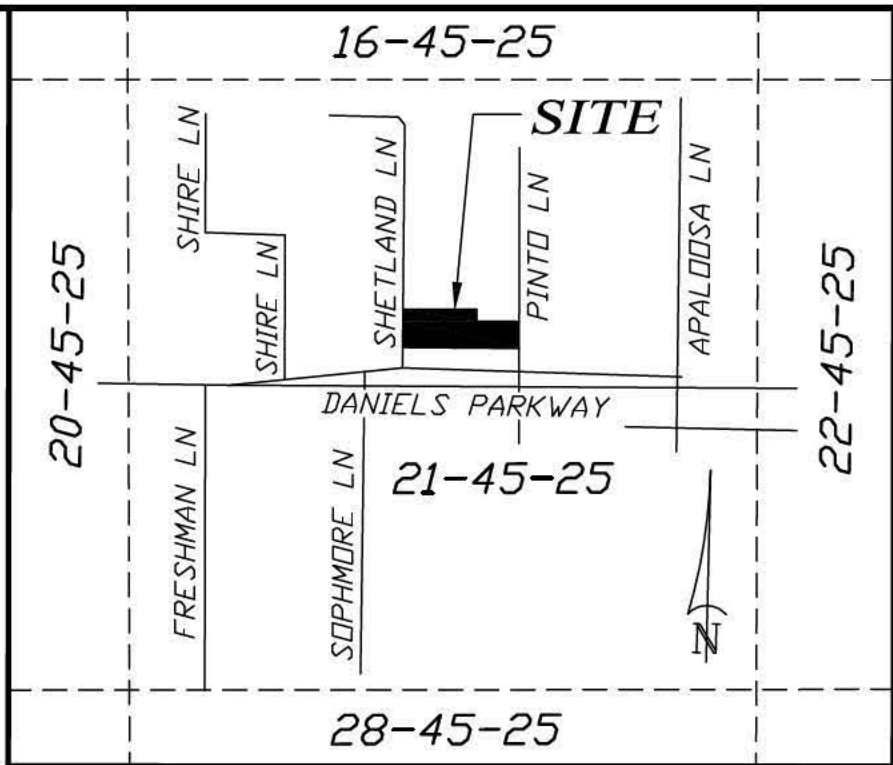
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A REGISTERED ENGINEER
CADIAZZ, LLC
CERTIFICATION OF
AUTHORIZATION # 28309

SHEET NUMBER
12

SURVEY NOTES:
1. BASIS OF BEARING SHOWN HEREON TAKEN FROM THE EAST LINE OF THE NE 1/4 OF SECTION 21-45-25 LINE OF, AS BEING N01°08'55"W.
2. FIELD NOTES IN SECTION 21-45-25.
3. THIS CERTIFICATION IS ONLY FOR LANDS DESCRIBED HEREON. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.
4. THIS SURVEY IS BASED ON TITLE CERTIFICATION BY FIDELITY NOTIONAL TITLE INSURANCE COMPANY, FNIC No. 7522850, DATED MARCH 27, 2019.
5. UNDERGROUND STRUCTURES AND UTILITIES, IF ANY, ARE NOT INCLUDED.
6. THIS MAP/PLAT IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
7. ALL BEARINGS AND DISTANCES ARE PLAT AND MEASURED, UNLESS OTHERWISE SHOWN.
8. THIS SURVEY IS INTENDED TO BE VIEWED AS AN 24X36, 40 SCALE DRAWING.
9. BENCHMARK DERIVED FROM GPS FDOT RTK NETWORK FPRN 0103, ELEVATION 356.8' NAVD83.
10. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).

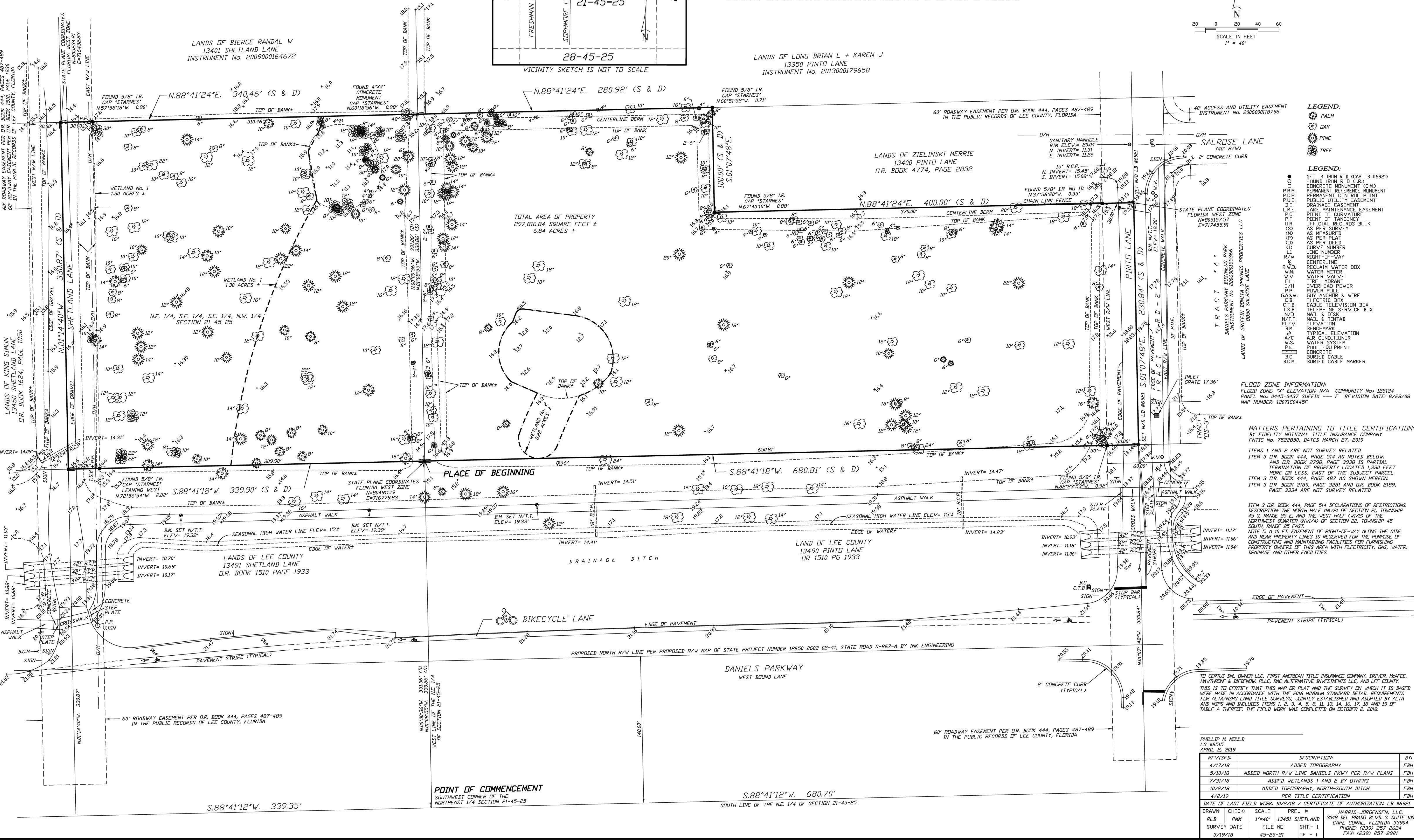
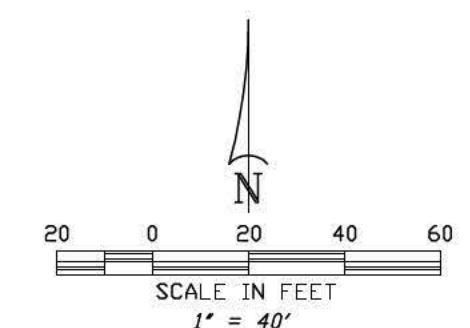


DESCRIPTION: (PER TITLE CERTIFICATION)

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 45 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN N01°08'55"W. ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 21 FOR 330.86 FEET TO THE POINT OF BEGINNING; THENCE RUN S88°41'18"W. TO A POINT ALONG THE CENTERLINE OF SHETLAND LANE (60 FEET WIDE) FOR 339.90 FEET; THENCE RUN N01°14'40"W. ALONG SAID CENTERLINE OF SHETLAND LANE (60 FEET WIDE) FOR 330.87 FEET; THENCE RUN N88°41'24"E. TO A POINT ALONG THE WEST LINE OF THE NORTHEAST QUARTER SAID SECTION 21 FOR 340.46 FEET; THENCE RUN N88°41'24"E. FOR 280.92 FEET; THENCE RUN S01°07'48"E. FOR 100.00 FEET; THENCE RUN N88°41'24"E. TO A POINT ALONG THE CENTERLINE OF PINTO LANE (60 FEET WIDE) FOR 400.00 FEET; THENCE RUN S01°07'48"E. ALONG SAID CENTERLINE OF PINTO LANE (60 FEET WIDE) FOR 230.84 FEET; THENCE RUN S88°41'18"W. TO A POINT ALONG THE AFORESAID WEST LINE OF THE NORTHEAST QUARTER (NE1/4) SECTION 21 FOR 680.81 FEET TO THE POINT OF BEGINNING.

ALTA/NSPS
LAND TITLE SURVEY
BOUNDARY SURVEY OF
**A TRACT OR PARCEL OF LAND LYING
IN THE N.E. 1/4 OF SECTION 21**

TOWNSHIP 45 SOUTH, RANGE 25 EAST
(INSTRUMENT No. 2014000167499)
LEE COUNTY, FLORIDA



LEGEND:
● SET 4" IRON ROD (CAP LB #6921)
○ FOUND IRON ROD (LIR)
□ CONCRETE MONUMENT (CM)
△ PERMANENT REFERENCE MONUMENT
+ PERMANENT CONTROL POINT
P.U.E. PUBLIC UTILITY EASEMENT
L.M.E. LAKE MAINTENANCE EASEMENT
P.C. POINT OF CURVATURE
P.O.T. POINT OF TANGENCY
D.R. OFFICIAL RECORDS BOOK
C.S. AS PER SURVEY
C.M. AS MEASURED
C.D. AS PER DEED
C.U. CURVE NUMBER
L.N. LINE NUMBER
R/W. RIGHT-OF-WAY
C. CENTERLINE
R.W.B. RECLAIM WATER BOX
W.M. WATER METER
W.V. WATER VALVE
F.H. FIRE HYDRANT
O.P. OVERHEAD POWER
P.P. GUY ANCHOR & WIRE
E.B. ELECTRIC BOX
C.T.B. CABLE TELEVISION BOX
T.S.B. TELEPHONE SERVICE BOX
N.D. NAIL & DISK
N.T.T. NAIL & TINTAB
ELEV. ELEVATION
B.M. BENCHMARK
S. TYPICAL ELEVATION
A.C. AIR CONDITIONER
W.S. WATER SYSTEM
P.E. POOL EQUIPMENT
B.C. BURIED CABLE
B.C.M. BURIED CABLE MARKER

FLOOD ZONE INFORMATION:
FLOOD ZONE: "X" ELEVATION: N/A COMMUNITY NO: 125124
PANEL NO: 0445-0437 SUFFIX: --- F REVISION DATE: 8/28/08
MAP NUMBER: 12071C0443F

MATTERS PERTAINING TO TITLE CERTIFICATION:
BY FIDELITY NOTIONAL TITLE INSURANCE COMPANY
FNIC No. 7522850, DATED MARCH 27, 2019

ITEMS 1 AND 2 ARE NOT SURVEY RELATED
ITEM 3 D.R. BOOK 444, PAGE 514 AS NOTED BELOW,
AND D.R. BOOK 2789, PAGE 3939 IS PARTIAL
TERMINATION OF PROPERTY LOCATED 1,330 FEET
MORE OR LESS, EAST OF THE SUBJECT PARCEL.
ITEM 3 D.R. BOOK 444, PAGE 487 AS SHOWN HEREON.
ITEM 3 D.R. BOOK 2189, PAGE 3281 AND D.R. BOOK 2189,
PAGE 3334 ARE NOT SURVEY RELATED.

ITEM 3 D.R. BOOK 444, PAGE 514 DECLARATIONS OF RESTRICTIONS
DESCRIPTION: THE NORTH HALF (NH1/2) OF SECTION 21, TOWNSHIP
45 S, RANGE 25 E, AND THE WEST HALF (WH1/2) OF SECTION 22, TOWNSHIP 45
SOUTH, RANGE 25 EAST
NOTE: A 10 FT. EASEMENT OF RIGHT-OF-WAY ALONG THE SIDE
AND REAR PROPERTY LINES IS RESERVED FOR THE PURPOSE OF
CONSTRUCTING AND MAINTAINING FACILITIES FOR FURNISHING
PROPERTY OWNERS OF THIS AREA WITH ELECTRICITY, GAS, WATER,
DRAINAGE AND OTHER FACILITIES.

TO CERTAIN OWNER LLC, FIRST AMERICAN TITLE INSURANCE COMPANY, DRIVER, MCNEE,
HAWTHORNE & DIEBOLD, PLLC, RAC ALTERNATIVE INVESTMENTS LLC, AND LEE COUNTY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED
WERE MADE IN ACCORDANCE WITH THE 2015 MINIMUM STANDARD DETAIL REQUIREMENTS
FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA
AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11, 13, 14, 16, 17, 18 AND 19 OF
TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 2, 2018.

PHILLIP M. MOULD LS #6515 APRIL 2, 2019					
REVISED		DESCRIPTION:			BY:
4/17/18		ADDED TOPOGRAPHY			FBH
5/10/18		ADDED NORTH R/W LINE DANIELS PKWY PER R/W PLANS			FBH
7/31/18		ADDED WETLANDS 1 AND 2 BY OTHERS			FBH
10/2/18		ADDED TOPOGRAPHY, NORTH-SOUTH DITCH			FBH
4/2/19		PER TITLE CERTIFICATION			FBH
DATE OF LAST FIELD WORK: 10/2/18 / CERTIFICATE OF AUTHORIZATION: LB #6521					
DRAWN:	CHECK:	SCALE:	PROJ. #	HARRIS-JORGENSEN, LLC.	
RLB	PM	1"=40'	13451 SHETLAND	3049 DEL PRADO BLVD S SUITE 100	
SURVEY DATE:	FILE NO.	SHT.:	1	CAPE CORAL, FLORIDA 33904	
3/19/18	45-25-21	DF:	- 1	PHONE: (239) 257-2624 FAX: (239) 257-2921	