



REPLY TO  
ATTENTION OF

CESAJ-RD  
West Permits Branch  
Tampa Section

DEPARTMENT OF THE ARMY  
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT  
701 SAN MARCO BOULEVARD  
JACKSONVILLE, FLORIDA 32207-8915

May 19, 2020

## ***PUBLIC NOTICE***

Permit Application No. SAJ-2014-00117(SP-JLC)

TO WHOM IT MAY CONCERN: The Jacksonville District of the U.S. Army Corps of Engineers (Corps) has received an application for a Department of the Army permit pursuant to Section 404 of the Clean Water Act (33 U.S.C. §1344) as described below:

APPLICANT: LMJ Real Property, LLC  
c/o Monique Agia  
4905 34<sup>th</sup> Street South, #173  
St. Petersburg, FL 33711

WATERWAY AND LOCATION: The project would affect freshwater wetlands in the Tampa Bay watershed. The project site is located on the north side of Lutz Lake Fern Road, between the western Suncoast Parkway exit ramp and the entrance road to the adjacent residential development.

Directions to the site are as follows: From North Dale Mabry Highway, turn west onto Lutz Lake Fern Road. Continue on Lutz Lake Fern for approximately 3.7 miles. The property will be on the north side of the road, just west of the Suncoast Parkway.

APPROXIMATE CENTRAL COORDINATES: Latitude: 28.157025°  
Longitude: -82.540794°

### **PROJECT PURPOSE:**

Basic: Commercial development.

Overall: Commercial development in the vicinity of the Suncoast Parkway and Lutz Lake Fern Road in Hillsborough County to meet local demand for commercial services.

EXISTING CONDITIONS: The proposed project site is located between the Suncoast Parkway exit ramp and the entrance road to a residential development. The project area consists of 0.65 acre of cypress wetlands, 3.09 acres of bottomland swamp and 0.03 acre of uplands. The adjacent entrance road and residential development was permitted under SAJ-2014-00117 on May 17, 2017.

PROPOSED WORK: The applicant seeks authorization to fill 3.51 acres of wetlands for the construction of a commercial development.

**AVOIDANCE AND MINIMIZATION INFORMATION** – The applicant has provided the following information in support of efforts to avoid and/or minimize impacts to the aquatic environment:

The applicant intends to enhance a 15 foot buffer area between the 3.51 acre wetland impact area and the avoided wetlands. Avoided wetlands total 0.23 acre. The Corps continues to evaluate the applicant's avoidance and minimization efforts.

**COMPENSATORY MITIGATION** – The applicant has offered the following compensatory mitigation plan to offset unavoidable functional loss to the aquatic environment:

The applicant is required to provide forested wetland mitigation either by purchasing federal forested wetland credits at a federally approved mitigation bank, or by conducting permittee-responsible mitigation.

**CULTURAL RESOURCES:** The Corps is not aware of any known historic properties within the permit area. By copy of this public notice, the Corps is providing information for review. Our final determination relative to historic resource impacts is subject to review by and coordination with the State Historic Preservation Officer and those federally recognized tribes with concerns in Florida and the Permit Area.

**ENDANGERED SPECIES:**

The Corps has made the determination that the proposal may affect, but is not likely to adversely affect the federally threatened wood stork (*Mycteria americana*). Potential impacts to the wood stork were evaluated using the Wood Stork Effect Determination Key dated September, 2008 (Key). The Corps has programmatic concurrence with the sequential determination of A > B > C > “not likely to adversely affect” pursuant to the Key.

The Corps has made the determination that the proposal may affect, but is not likely to adversely affect the federally threatened eastern indigo snake (*Drymarchon corais couperi*). Potential impacts to the eastern indigo snake were evaluated using the Eastern Indigo Snake Programmatic Effect Determination Key (Key) dated January 25, 2010, and updated August 13, 2013. The Corps has programmatic concurrence with the sequential determination of A > B > C > D > E > “not likely to adversely affect” pursuant to the Key.

**ESSENTIAL FISH HABITAT (EFH):** This notice initiates consultation with the National Marine Fisheries Service on EFH as required by the Magnuson-Stevens Fishery Conservation and Management Act 1996. Our initial determination is that the proposed action would not have a substantial adverse impact on EFH or federally managed fisheries since it would affect inland freshwater wetlands. Our final determination

relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

NOTE: This public notice is being issued based on information furnished by the applicant. This information has not been verified or evaluated to ensure compliance with laws and regulation governing the regulatory program. The jurisdictional line has not been verified by Corps personnel.

AUTHORIZATION FROM OTHER AGENCIES: The applicant received Environmental Resource Permit Modification no. 43041806.006 from the Southwest Florida Water Management District on February 25, 2020. The state permit constitutes Water Quality Certification.

COMMENTS regarding the potential authorization of the work proposed should be submitted in writing to the attention of the District Engineer through the Tampa Permits Section, 10117 Princess Palm Avenue, Suite 120, Tampa, FL 33610 within 21 days from the date of this notice.

The decision whether to issue or deny this permit application will be based on the information received from this public notice and the evaluation of the probable impact to the associated wetlands. This is based on an analysis of the applicant's avoidance and minimization efforts for the project, as well as the compensatory mitigation proposed.

QUESTIONS concerning this application should be directed to the project manager, Jessica Cordwell, in writing at the Tampa Permits Section, 10117 Princess Palm Avenue, Suite 120 Tampa, Florida 33610, by telephone at (813)769-7067, by fax at (813)769-7061, or by electronic mail at [Jessica.L.Cordwell@usace.army.mil](mailto:Jessica.L.Cordwell@usace.army.mil).

IMPACT ON NATURAL RESOURCES: Coordination with U.S. Fish and Wildlife Service, Environmental Protection Agency (EPA), the National Marine Fisheries Services, and other Federal, State, and local agencies, environmental groups, and concerned citizens generally yields pertinent environmental information that is instrumental in determining the impact the proposed action will have on the natural resources of the area.

EVALUATION: The decision whether to issue a permit will be based on an evaluation of the probable impact including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits, which reasonably may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including cumulative impacts thereof; among these are conservation, economics, aesthetics, general environmental concerns, wetlands, historical properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food, and fiber production, mineral needs, considerations of property ownership, and in

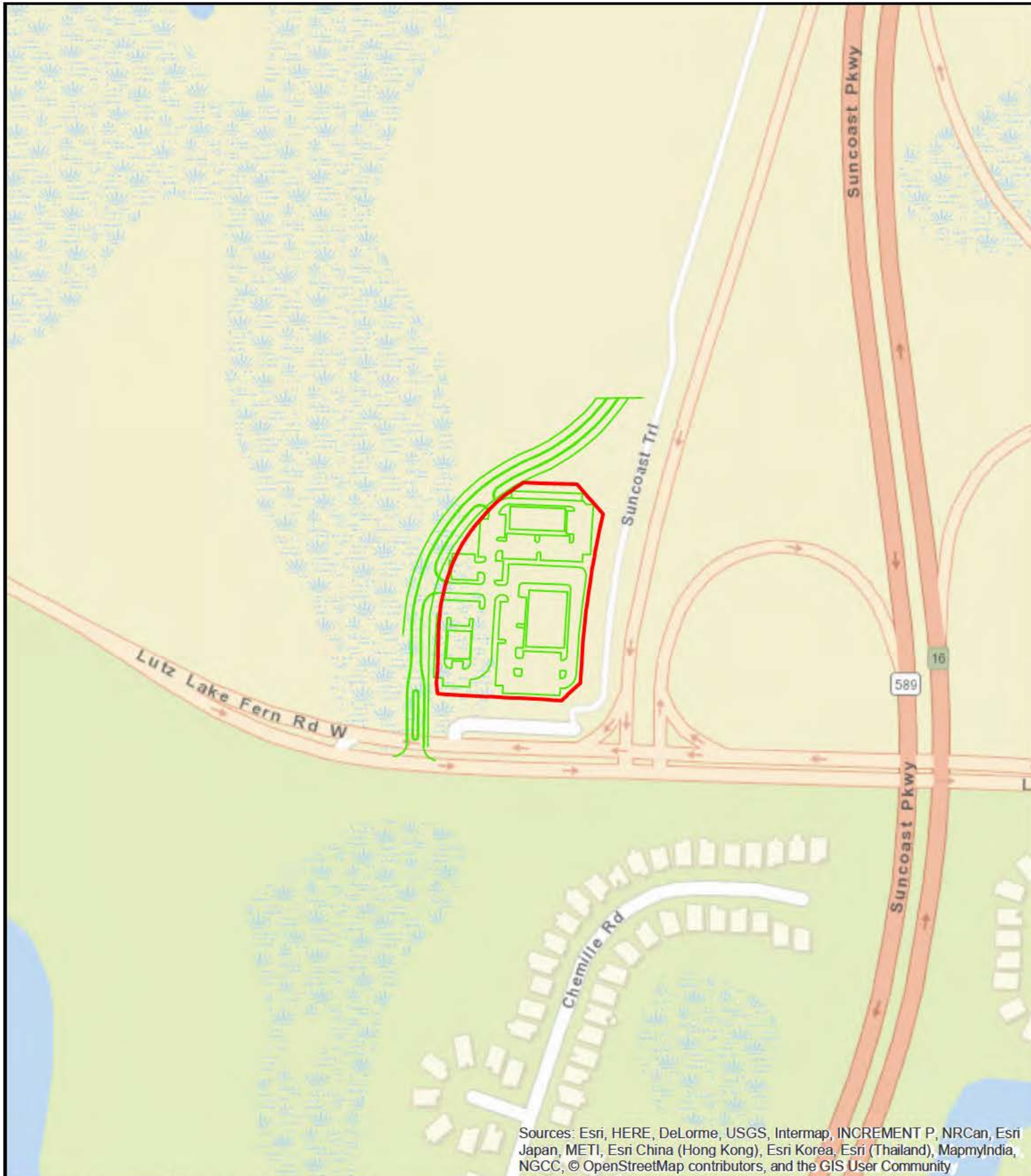
general, the needs and welfare of the people. Evaluation of the impact of the activity on the public interest will also include application of the guidelines promulgated by the Administrator, EPA, under authority of Section 404(b) of the Clean Water Act or the criteria established under authority of Section 102(a) of the Marine Protection Research and Sanctuaries Act of 1972. A permit will be granted unless its issuance is found to be contrary to the public interest.

The US Army Corps of Engineers (Corps) is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other Interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps to determine whether to issue, modify, condition, or deny a permit for this proposal. To make this determination, comments are used to assess impacts to endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

**COASTAL ZONE MANAGEMENT CONSISTENCY:** In Florida, the State approval constitutes compliance with the approved Coastal Zone Management Plan.

**REQUEST FOR PUBLIC HEARING:** Any person may request a public hearing. The request must be submitted in writing to the District Engineer within the designated comment period of the notice and must state the specific reasons for requesting the public hearing.





N



0 300  
Feet

Date: 8/31/2018

Drawn by: CM

Source: ESRI

Prepared for:

File

## LMJ Commercial

### Figure 1: Location Map

Section 6 & 7, Township 27 South, Range 18 East  
Hillsborough County, Florida

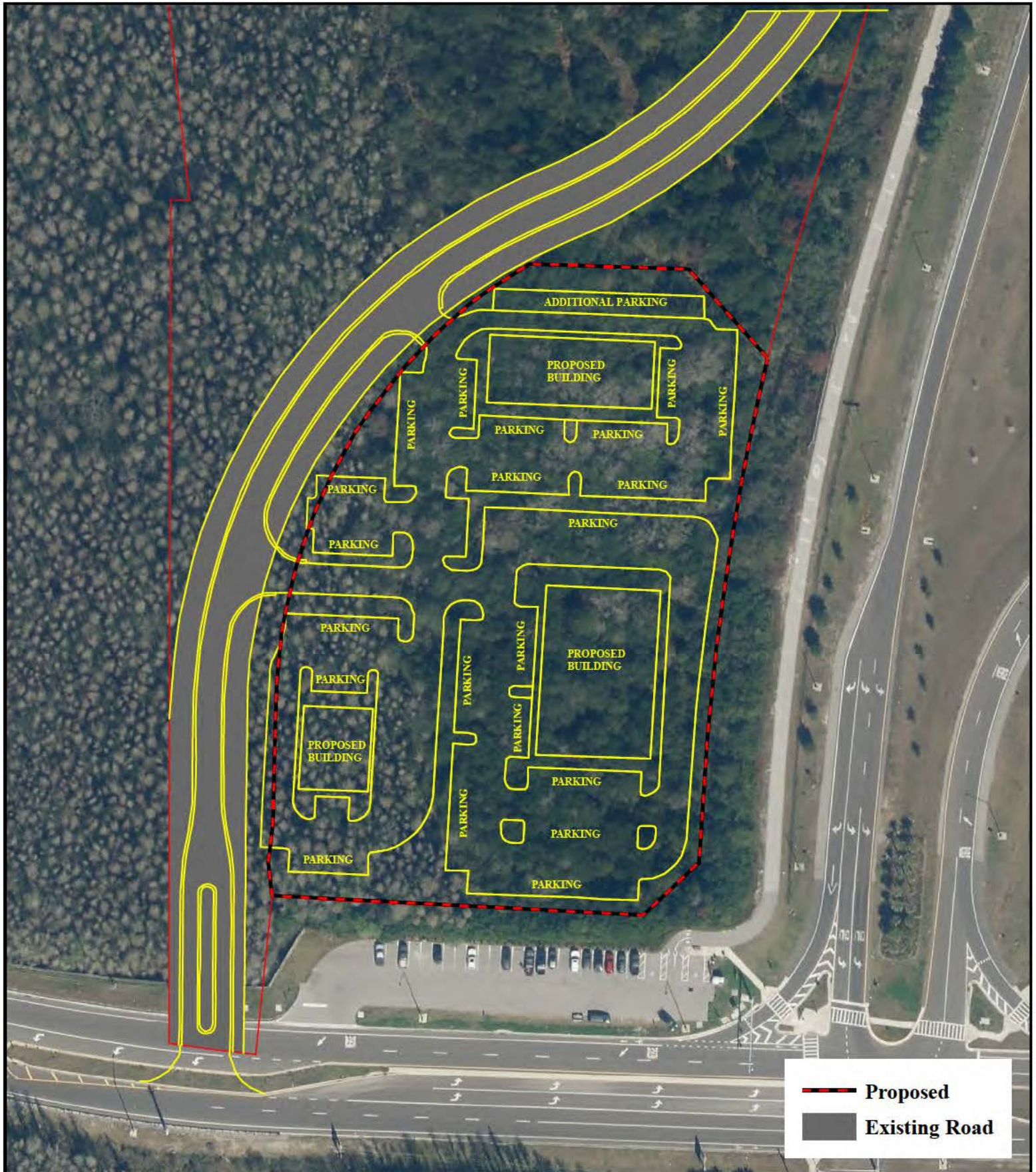


**Horner Environmental  
Professionals**

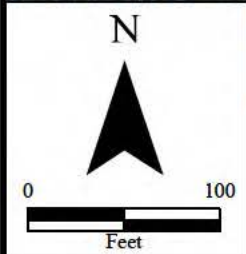
4252 Hay Road  
Lutz, Florida 33559  
(813) 907-9500

[hornerenvironmental.com](http://hornerenvironmental.com)





 **Proposed**  
 **Existing Road**



Date: 9/14/2018	Drawn by: CM
Source: LABINS	
Prepared for:	
File	

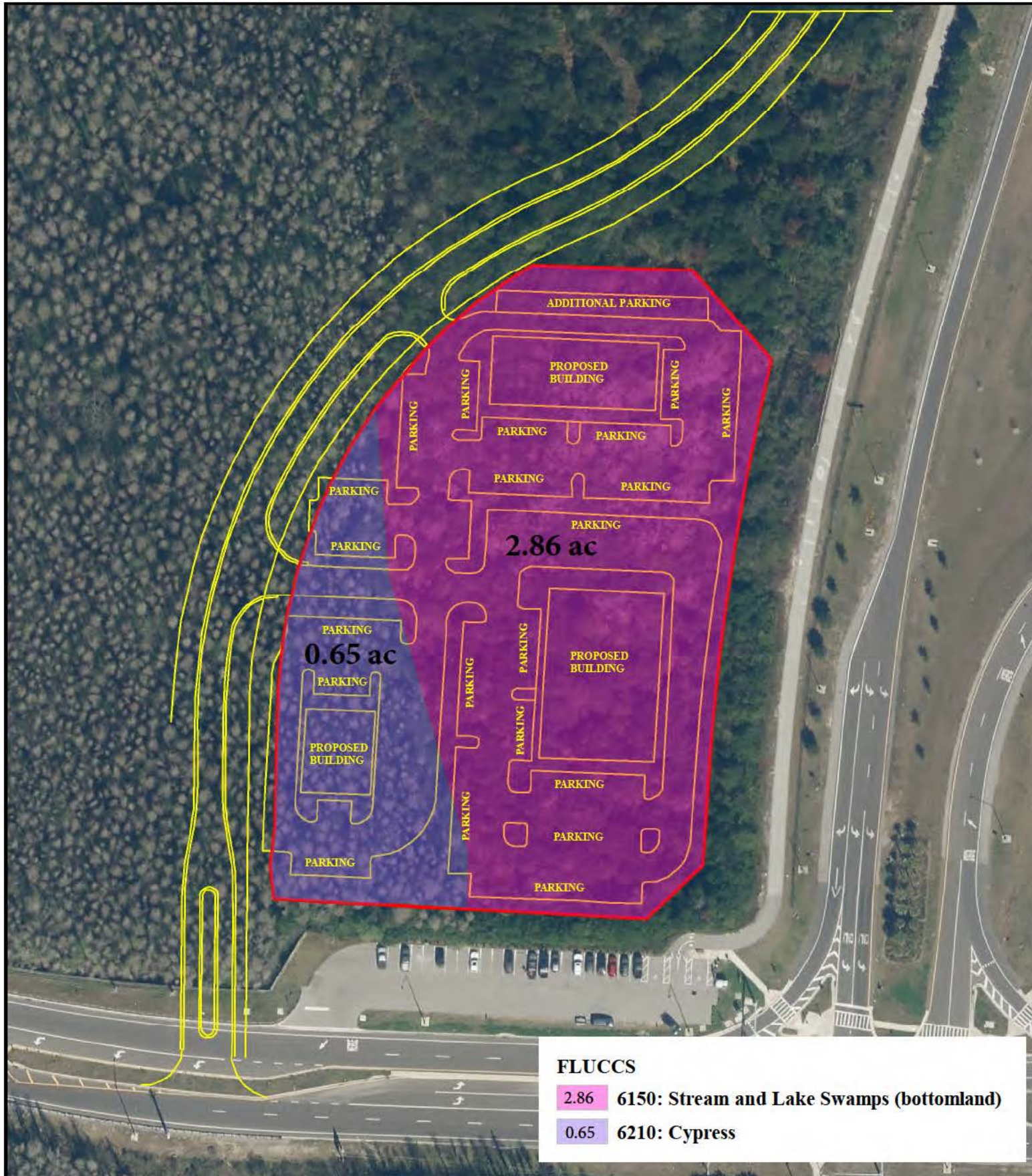
**LMJ Commercial**  
**Figure 2: 2014 Aerial Photograph**  
 Section 6 & 7, Township 27 South, Range 18 East  
 Hillsborough County, Florida



**Horner Environmental Professionals**

4252 Hay Road  
 Lutz, Florida 33559  
 (813) 907-9500  
[hornerenvironmental.com](http://hornerenvironmental.com)





	Date: 8/31/2018	Drawn by: CM
	Source: LABINS	
	Prepared for:	
File		<p><b>LMJ Commercial</b></p> <p>Figure 4: FLUCCS Map</p> <p>Section 6 &amp; 7, Township 27 South, Range 18 East</p> <p>Hillsborough County, Florida</p>
<p><b>Horner Environmental Professionals</b></p> <p>4252 Hay Road Lutz, Florida 33559 (813) 907-9500 hornerenvironmental.com</p>		





PERMITTED DRAWINGS SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD)  
For construction permits, the Permittee shall notify the District  
in writing when construction begins.

# LMJ COMMERCIAL

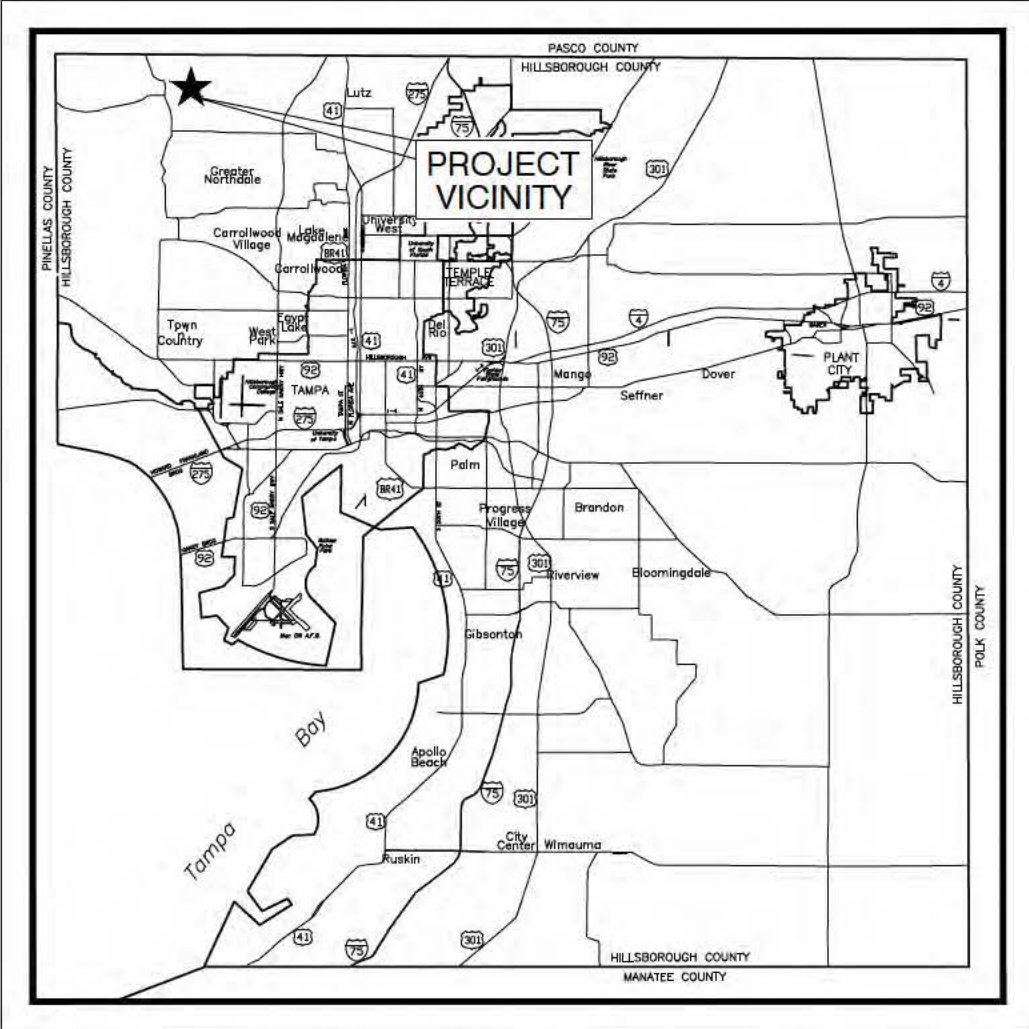
A PROPERTY LOCATED WITHIN  
SECTIONS 6, TOWNSHIP 27 SOUTH, RANGE 18 EAST  
HILLSBOROUGH COUNTY, FLORIDA

## LEGAL DESCRIPTION

That portion of Tract 13 in the Southeast quarter of Section 6, Township 27 South, Range 18 East, KEYSTONE PARK COLONY, as recorded in Plat Book 5, Page 55, of the Public Records of Hillsborough County, Florida, lying Westerly of State Road 589, TOGETHER WITH a portion of the East half of Section 7, Township 27 South, Range 18 East, lying Northerly of Lutz Lake Fern Road and Westerly of said State Road 589, ALL being more particularly described as follows:

COMMENCE at the Northwest corner of the Northeast 1/4 of said Section 7, said point also being the Southwest corner of the Southeast 1/4 of said Section 6; thence S 00°07'05"W, 610.35 feet along the Westerly boundary line of said Section 7 to the Northerly boundary line of Parcel 101 as contained in the Stipulated Order of Taking recorded in Official Records Book 19083, Page 975, said line being a non-tangent curve concave to the Northeast having a radius of 1411.21 feet; thence Southeasterly, 73.67 feet along said curve through a central angle of 02°59'28" (chord bears S 87°37'57"E, 73.67 feet) to the Westerly limited access right-of-way line of State Road 589; thence N 05°53'21"E, 4.65 feet along said Westerly limited access right-of-way line to the POINT OF BEGINNING; thence N 00°06'58"E, 209.98 feet to the beginning of a curve concave to the Southeast having a radius of 400.00 feet; thence Northeasterly, 467.43 feet along said curve through a central angle of 06°57'18" (chord bears N 33°35'37"E, 441.20 feet) to the beginning of a reverse curve concave to the Northwest having a radius of 460.00 feet; thence Northeasterly, 53.89 feet along said curve through a central angle of 06°42'45" (chord bears N 63°42'54"E, 53.86 feet) to the beginning of a reverse curve concave to the Southeast having a radius of 82.00 feet; thence Northeasterly, 44.53 feet along said curve through a central angle of 31°19'28" (chord bears N 76°01'15"E, 44.27 feet) to the beginning of a reverse curve concave to the Northwest having a radius of 116.00 feet; thence Northeasterly, 127.08 feet along said curve through a central angle of 62°46'15" (chord bears N 60°17'52"E, 120.82 feet); thence N 28°54'44"E, 25.25 feet to the Westerly limited access right-of-way line of State Road 589; thence along said limited access right-of-way line, the following five (5) courses and two (2) curves: S 16°43'30"W, 93.65 feet to the beginning of a curve concave to the Southeast having a radius of 2029.88 feet; thence Southwesterly, 495.07 feet along said curve through a central angle of 13°58'26" (chord bears S 09°44'18"W, 493.84 feet); thence S 04°21'02"W, 27.64 feet; thence S 46°42'26"W, 60.08 feet; thence N 87°18'50"W, 230.71 feet to the beginning of a non-tangent curve concave to the Northeast having a radius of 1088.27 feet; thence Northwesterly, 59.79 feet along said curve through a central angle of 03°07'09" (chord bears N 65°40'32"W, 59.79 feet); thence S 05°53'21"W, 64.57 feet to the POINT OF BEGINNING.

Containing 3.97 Acres, more or less.



Vicinity Map

NOT TO SCALE



Location Map

NOT TO SCALE



## SITE DATA

FOLIO NUMBERS: 12932.0005  
ZONING: PD-MU (90-0061) (PRS 10-0891)  
LAND USE: R-1  
EXISTING USE: VACANT/WETLAND/LOWLANDS  
PROPOSED USE: COMMERCIAL  
TOTAL SITE AREA: 172,702± SF / 3.96± AC (100.00%)  
EXISTING BUILDING AREA: 0± SF / 0.00± AC ( 0.00%)  
EXISTING PAVEMENT AREA: 0± SF / 0.00± AC ( 0.00%)  
EXISTING WETLAND AREA: 171,333± SF / 3.93± AC (99.24%)  
EXISTING UPLANDS AREA: 1,369± SF / .03± AC ( 0.76%)  
PROPOSED BUILDING AREA: 23,875± SF / 0.55± AC (13.89%)  
PROPOSED PAVEMENT AREA: 105,046± SF / 2.41± AC (60.86%)  
PROPOSED OPEN AREA: 32,199± SF / 0.74± AC (18.68%)  
PROPOSED WETLAND AREA: 10,213± SF / 0.23± AC ( 5.81%)  
PROPOSED UPLANDS AREA: 1,369± SF / 0.03± AC ( 0.76%)  
PROPOSED F.A.R.: 0.14  
PROPOSED BUILDING HEIGHT: 50 FEET  
NUMBER OF FLOORS: 1 STORY  
SETBACKS: REQUIRED PROVIDED  
FRONT 8 FEET 8 FEET  
SIDE 6 FEET 8 FEET  
REAR 8 FEET 60 FEET  
PARKING REQUIRED: RETAIL (5 SPACES / 1,000 SF)  
(23,875 SF x 5 / 1,000 SF) = 120 SPACES  
PARKING PROVIDED: 203 SPACES (INCLUDING 5 ADA)

WATER SERVICE: HILLSBOROUGH COUNTY  
WASTE WATER SERVICE: HILLSBOROUGH COUNTY  
FIRE PROTECTION: PER HILLSBOROUGH COUNTY FIRE DEPARTMENT REQUIREMENTS  
SOLID WASTE: HILLSBOROUGH COUNTY  
THIS PROJECT IS LOCATED WITHIN FLOOD ZONES "X" & "AE" (BFE = 55.8 NAVD) PER FEMA FLOOD INSURANCE RATE MAP NO. 12057C0041H DATED AUGUST 8, 2008.  
OWNER: LMJ REAL PROPERTY, LLC  
4905 34TH STREET SOUTH #173  
ST. PETERSBURG, FL 33711  
PHONE (619) 279-1763  
ENGINEER: LANDMARK ENGINEERING & SURVEYING CORPORATION  
8515 PALM RIVER ROAD  
TAMPA, FLORIDA 33619  
PHONE (813) 621-7841  
FAX (813) 621-6761

SHEET INDEX	
SHEET NO.	SHEET TITLE
1	COVER SHEET
2	OVERALL PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	DRAINAGE & GEOMETRY PLAN
5	PAVING & GRADING PLAN
6	WATER & SEWER PLAN
7	LANDSCAPE & SIGNAGE PLAN
8	DETAILS - MISCELLANEOUS
9	DETAILS - WATER SYSTEM
10	DETAILS - SEWER SYSTEM
11	LIFT STATION PLAN & CALCULATIONS
12	WETLAND IMPACT & MITIGATION PLAN

FLOODPLAIN IMPACT & COMPENSATION CONCERNING THE PROJECT  
SITE WAS PERMITTED IN SWFWMD ERP 43041806.001

ACCESS ROAD PERMITTED IN SWFWMD ERP 43041806.001

ACCESS ROAD MODIFIED IN ERP 43041806.002 & 43041806.003

ACOE PERMIT No. SAJ-2014-00117-CMW, DATED 05/07/2017 ISSUED FOR ACCESS ROAD

- NOTE -  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OF  
THE NECESSARY PERMITS FOR CONSTRUCTION OF STORM  
PIPING PRIOR TO THE START OF CONSTRUCTION

Todd C. Amaden,  
State of Florida,  
Professional Engineer,  
License No. 53967

This item has been  
electronically signed and sealed  
by Todd C. Amaden on the date  
indicated here using a SFA  
authentication code

Printed copies of this document  
are not considered signed and  
sealed and the SFA  
authentication code must be  
verified on any electronic  
copies

TODD C. AMADEN No. 53967  
PROFESSIONAL ENGINEER

REVISIONS

DATE: 08/29/2019

DRAWN BY: J.A.W.

CHECKED BY: TCA

JOB NO.: 2170055

LMJ COMMERCIAL

HILLSBOROUGH COUNTY, FLORIDA

COVER SHEET

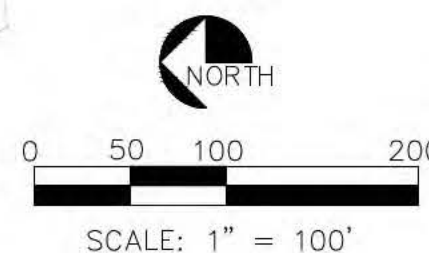
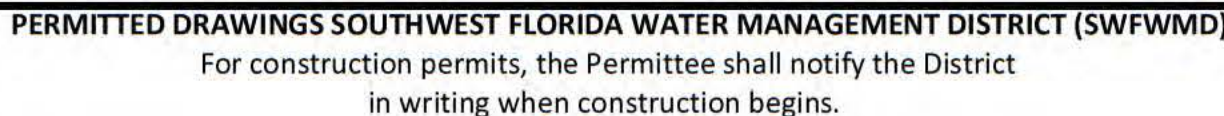
LMJ REAL  
PROPERTY, LLC

4905 34TH STREET SOUTH #173  
ST. PETERSBURG, FL 33711

LANDMARK  
Engineering & Surveying Corporation

8515 Palm River Road | Tampa, Florida 33619  
(813) 621-7841 | (813) 621-6761 (fax)  
www.lesc.com | C.A. # 28014





<p>Todd C. Amaden, State of Florida, Professional Engineer, License No. 53967</p> <p>This item has been electronically signed and sealed by Todd C. Amaden on the date indicated here using a <i>SHA</i> authentication code</p> <p>Printed copies of this document are not considered signed and sealed and the <i>SHA</i> authentication code must be verified on any electronic copies</p>	<p>TODD C. AMADEN No. 53967 PROFESSIONAL ENGINEER</p>
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CONVERSIONS

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Elevations based on  
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)  
Conversion from NAVD88 to NGVD29 = +0.64 Feet

DATE:	08/29/2019
DRAWN BY:	J.A.W.
CHECKED BY:	TCA
JOB NO.:	2170055

LMJ COMMERCIAL

HILLSBOROUGH COUNTY, FLORIDA

OVERALL PLAN

**LMJ REAL  
PROPERTY, LLC**

**LANDMARK**  
Engineering & Surveying Corporation

8915 Palm River Road  
(813) 621-7841  
[www.lescc.com](http://www.lescc.com)

Tampa, Florida 33619  
(813) 921-6761 (fax)  
C.A. # 28014

## LEGEND

EXISTING	PROPOSED
BOUNDARY/PROPERTY LINE	STORM SEWER
EPC WETLAND CONSERVATION AREA LINE	CURB INLET
30' WETLAND CONSERVATION AREA SETBACK LINE	STORM MANHOLE
FLOOD ZONE LINE	FLARED/MITERED END SECTION
EXISTING CONTOUR	CONTROL STRUCTURE
EXISTING SPOT ELEVATION	PHASE LINE
UTILITY POLE	CONTINUOUS EROSION CONTROL
LIGHT POLE	
GUY WIRE	

NOTE: PROPOSED PIPES & STRUCTURES ARE SHOWN SOLID.  
EXISTING PIPES & STRUCTURES ARE SHOWN OPEN & DASHED

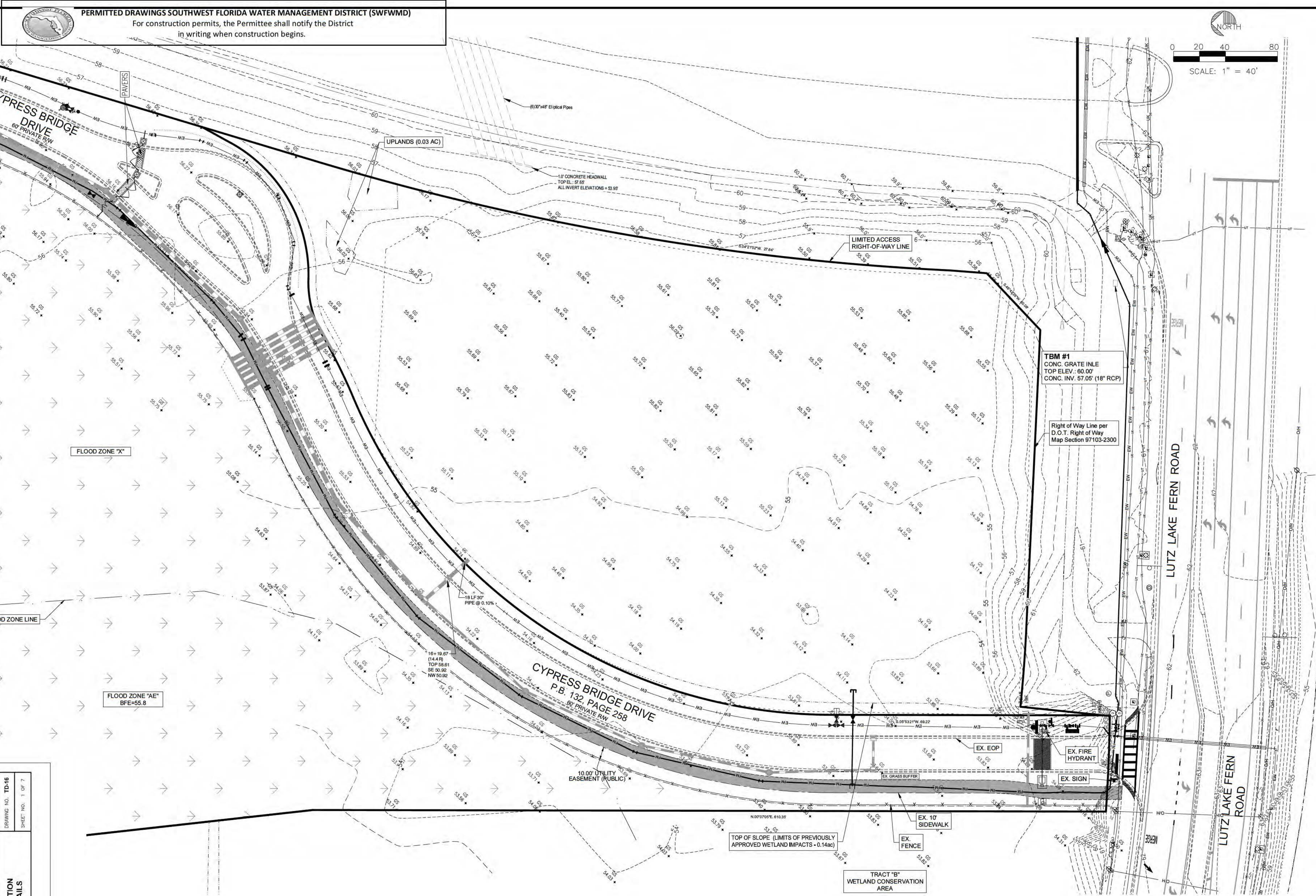
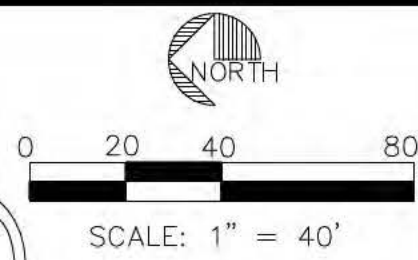


**KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG**

**It's fast, it's free, it's the law**

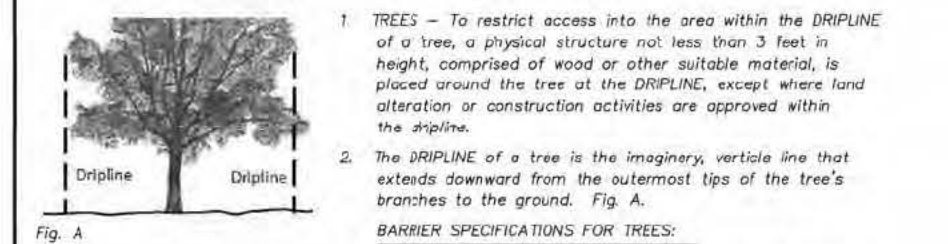
[www.callsunshine.com](http://www.callsunshine.com)





ALL TREES SHOULD BE PROTECTED MEETING THE SPECIFICATIONS  
AS ILLUSTRATED ON THE ATTACHED DIAGRAM.

Protective barriers are used during land alteration and construction activities to protect trees and  
natural areas to be retained on a site.  
Protective barriers must be erected around TREES to be retained within an area where land alteration and  
construction activities will occur as well as along NATURAL AREAS where such areas are adjacent to  
permitted land alteration and construction activities. A PROTECTIVE BARRIER must remain in place until the  
land alteration and construction activities are completed or until commencement of grade finishing and  
sodding. No ground disturbance must occur within the barricaded area.



1. TREES - To restrict access into the area within the DRIPLINE  
of a tree, a physical structure not less than 3 feet in  
height, comprised of wood or other suitable material, is  
placed around the tree at the DRIPLINE, except where land  
alteration or construction activities are approved within  
the drip line.

2. The DRIPLINE of a tree is the imaginary, vertical line that  
extends downward from the outermost tips of the tree's  
branches to the ground. Fig. A.

3. BARRIER SPECIFICATIONS FOR TREES:  
Six corner upright stakes of no less than 2" x 2" lumber  
spaced at 5' max. increments, securely connected by  
horizontal members of no less than 1" x 4" lumber (Fig. B); or  
upright stakes spaced at 5' intervals of no less than 2" x 2" lumber  
connected by all screen fabric or material of comparable  
durability. Fig. C.

4. NATURAL AREAS - To restrict access into areas where land  
alteration and construction activities are not authorized, a  
physical structure not less than 3 feet in height is placed  
along the perimeter of such areas.

5. BARRIER SPECIFICATIONS FOR NATURAL AREAS:  
Upright stakes of no less than 2" x 2" lumber spaced no more  
than 25' apart and connected by heavy hogged with plastic  
surrounding tape at regular intervals of 5'-10'. Fig. D. Other  
methods of demarcation will be considered depending upon the  
characteristics of the site.

6. WHY A BARRIER  
1. To protect all above ground portions of trees and other  
significant vegetation from mechanical damage.  
2. To protect root systems from compaction.  
3. To provide awareness of protected areas to equipment  
operators.

7. WHY IT WORKS  
A tree's chance for survival is greatly enhanced if no  
construction material, heavy equipment or stockpiling of soil  
is allowed inside the barrier, only hand labor.

For additional information, contact the Natural Resources (Development Services Department).  
Telephone: 813-272-5600.

TREE PROTECTION  
TYPICAL DETAILS

Hillsborough  
County Florida

TRANSPORTATION  
TECHNICAL  
MANUAL

REVISION DATE:  
10/17

#### DEMOLITION NOTES

1. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. IT IS THE RESPONSIBILITY  
OF THE CONTRACTOR TO VERIFY THEIR EXACT LOCATION PRIOR TO CONSTRUCTION  
IN THEIR VICINITY.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA PRIOR TO  
CONSTRUCTION AND CALL THE SUNSHINE STATE ONE CALL 1-800-432-4770.
3. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL OR SEDIMENTATION  
BARRIER (HAY BALES OR SILT SCREEN) TO PREVENT SILTATION OF ADJACENT  
PROPERTY, STREETS, PONDS, STORM SEWERS AND WATERWAYS, AND TO MAINTAIN  
THE EROSION CONTROL OR SEDIMENTATION BARRIER IN AN EFFECTIVE WORKING  
MANNER FOR THE DURATION OF CONSTRUCTION. ADDITIONALLY, CONTRACTOR  
SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS  
WHERE CONSTRUCTION RELATED TRAFFIC IS REQUIRED TO ACCESS SITE.

IF, IN THE OPINION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES, EXCESSIVE  
QUANTITIES OF SOIL ARE TRANSPORTED OFFSITE EITHER BY DRAINAGE OR BY  
VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID SOIL AND REPAIR  
DAMAGED OR INEFFECTIVE EROSION CONTROL OR SEDIMENTATION BARRIER TO  
THE SATISFACTION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES. SILTATION  
ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE  
DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND  
REPLACED IN UPLAND AREAS.

4. ANY TREES TO REMAIN ONSITE SHALL BE BARRICADED PRIOR TO THE START OF  
CONSTRUCTION. SEE DETAILS. CONTRACTOR SHALL NOT REMOVE VEGETATION BY  
GRUBBING OR PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION  
MATERIALS, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE  
BARRICADED AREA AROUND ANY TREE TO REMAIN ONSITE.

5. INSTALLATION OF ARTIFICIAL BARRIERS SUCH AS PROTECTIVE BARRICADES,  
FENCES, POSTS OR WALLS SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT  
SYSTEM OF PROTECTED TREES AND GRAND TREES. FOOTERS FOR WALLS SHALL  
END AT THE POINT WHERE LARGER ROOTS ARE ENCOUNTERED, AND THE ROOTS  
SHALL BE BRIDGED. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED  
TREES OR GRAND TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
6. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE  
LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN  
NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
7. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL  
TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS,  
SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY  
KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE  
APPROVED BY HILLSBOROUGH COUNTY.
8. IN ORDER TO COMPLY WITH SECTION 4.01.05.A OF THE HILLSBOROUGH COUNTY  
LAND DEVELOPMENT CODE TO MINIMIZE SOIL EROSION, PROPOSED LAND  
ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING  
VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION  
MEASURES (I.E. HAY BALES, Baffles, SODDING AND SANDBAGGING) SHALL BE  
PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM  
SEDIMENTATION CAUSED BY SURFACE WATER RUNOFF ON EXPOSED LAND  
SURFACES.

#### LEGEND

- BOUNDARY/PROPERTY LINE
- EPC WETLAND CONSERVATION AREA LINE
- 30' WETLAND CONSERVATION AREA SETBACK LINE
- FLOOD ZONE LINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING PAVEMENT
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- MANHOLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- CONTINUOUS EROSION CONTROL

#### TREE LEGEND

- OAK TREE
- PALM TREE
- CAMPBELL TREE
- MAPLE TREE
- TREE TO BE REMOVED
- (TREE SIZES IN INCHES AS INDICATED)

#### WATER WELLS NOTE

ANY WELLS FOUND ONSITE SHALL BE CAPPED AND  
ABANDONED BY A LICENSED CONTRACTOR.

#### FEMA NOTE

THIS PROJECT IS LOCATED WITHIN FLOOD ZONES "X"  
& "AE" (BFE = 55.8 NAVD) PER FEMA FLOOD  
INSURANCE RATE MAP NO. 12057C0041H, DATED  
AUGUST 8, 2008.

#### DATUM NOTE

ALL ELEVATIONS REFER TO N.A.D. (1988).



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Professional Engineer,  
License No. 53967

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DATE: 08/29/2019  
DRAWN BY: J.A.W.  
CHECKED BY: TCA  
JOB NO.: 2170055  
Elevations based on  
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)  
Conversion from NAVD88 to NGVD29 = +0.84 Feet

LMJ COMMERCIAL

HILLSBOROUGH COUNTY, FLORIDA

EXISTING CONDITIONS & DEMOLITION  
PLAN

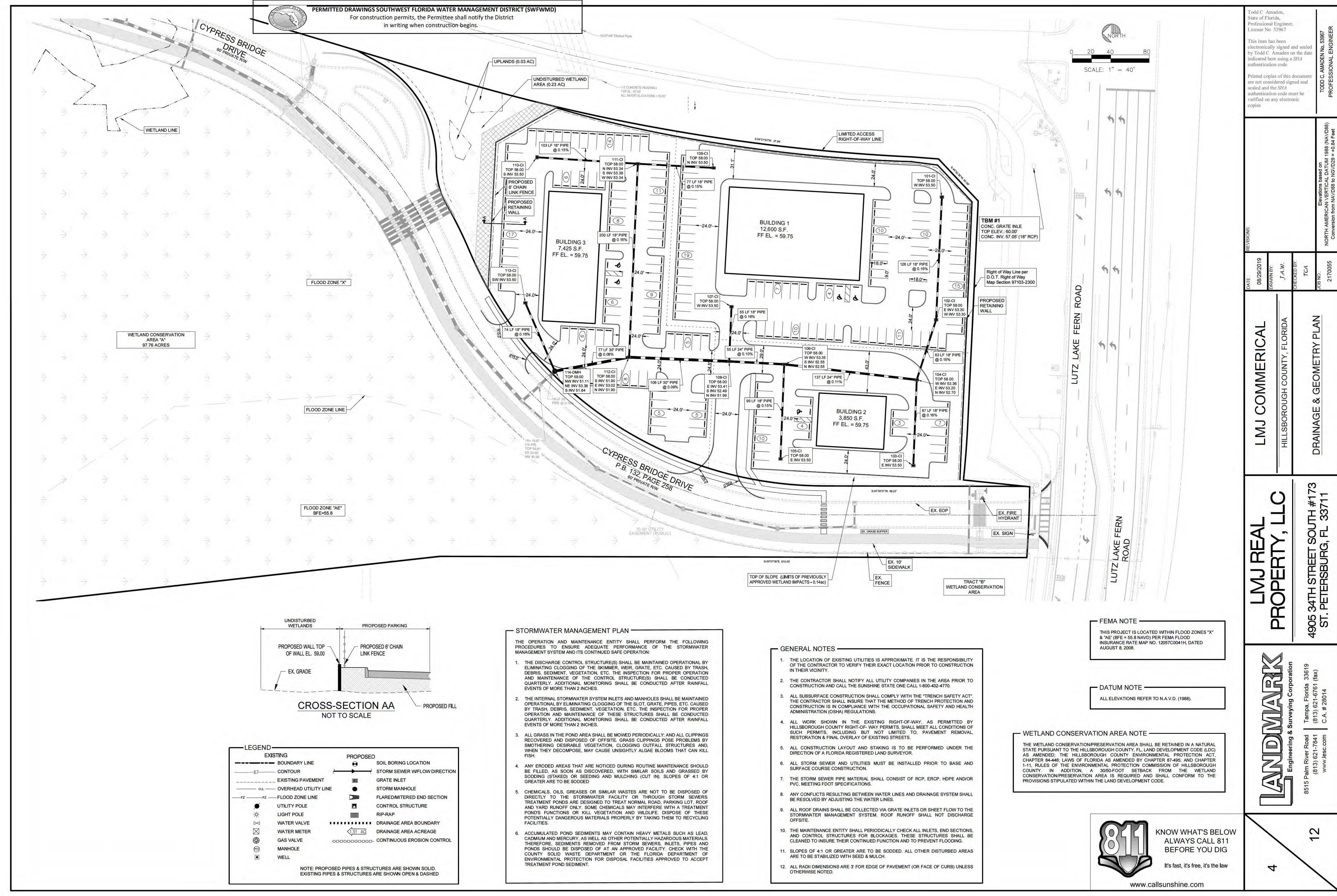
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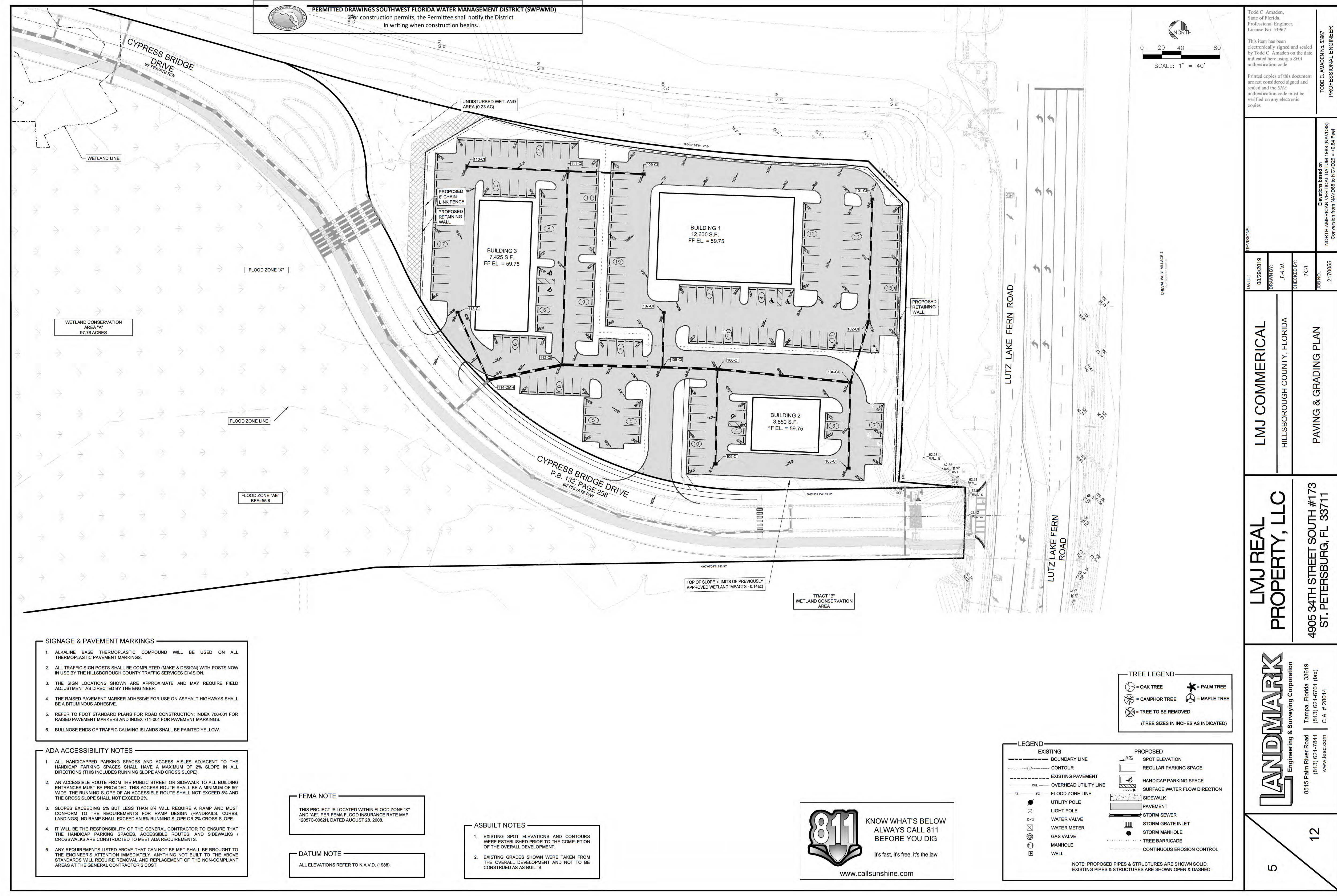
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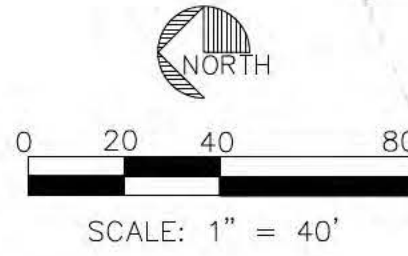








PERMITTED DRAWINGS SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD)  
For construction permits, the Permittee shall notify the District in writing when construction begins.



Todd C. Amaden,  
State of Florida,  
Professional Engineer,  
License No. 53967

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TODD C. AMADEN No. 53967  
PROFESSIONAL ENGINEER

REVISIONS:

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CHECKED BY:	TCA
JOB NO.:	2170055

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PAVING & GRADING PLAN

LMJ REAL  
PROPERTY, LLC

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Tampa, Florida 33619  
(813) 621-7841  
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(813) 621-6761 (fax)  
C.A. # 28014

- SIGNAGE & PAVEMENT MARKINGS**
1. ALKALINE BASE THERMOPLASTIC COMPOUND WILL BE USED ON ALL THERMOPLASTIC PAVEMENT MARKINGS.
  2. ALL TRAFFIC SIGN POSTS SHALL BE COMPLETED (MAKE & DESIGN) WITH POSTS NOW IN USE BY THE HILLSBOROUGH COUNTY TRAFFIC SERVICES DIVISION.
  3. THE SIGN LOCATIONS SHOWN ARE APPROXIMATE AND MAY REQUIRE FIELD ADJUSTMENT AS DIRECTED BY THE ENGINEER.
  4. THE RAISED PAVEMENT MARKER ADHESIVE FOR USE ON ASPHALT HIGHWAYS SHALL BE A BITUMINOUS ADHESIVE.
  5. REFER TO FDOT STANDARD PLANS FOR ROAD CONSTRUCTION: INDEX 706-001 FOR RAISED PAVEMENT MARKERS AND INDEX 711-001 FOR PAVEMENT MARKINGS.
  6. BULLNOSE ENDS OF TRAFFIC CALMING ISLANDS SHALL BE PAINTED YELLOW.

- ADA ACCESSIBILITY NOTES**
1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
  2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESS ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
  3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
  4. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS / CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
  5. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON-COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

**FEMA NOTE**

THIS PROJECT IS LOCATED WITHIN FLOOD ZONE "X" AND "AE". PER FEMA FLOOD INSURANCE RATE MAP 12057C-0062H, DATED AUGUST 28, 2008.

**DATUM NOTE**

ALL ELEVATIONS REFER TO N.A.V.D. (1988).

- ASBUILT NOTES**
1. EXISTING SPOT ELEVATIONS AND CONTOURS WERE ESTABLISHED PRIOR TO THE COMPLETION OF THE OVERALL DEVELOPMENT.
  2. EXISTING GRADES SHOWN WERE TAKEN FROM THE OVERALL DEVELOPMENT AND NOT TO BE CONSTRUED AS AS-BUILTS.

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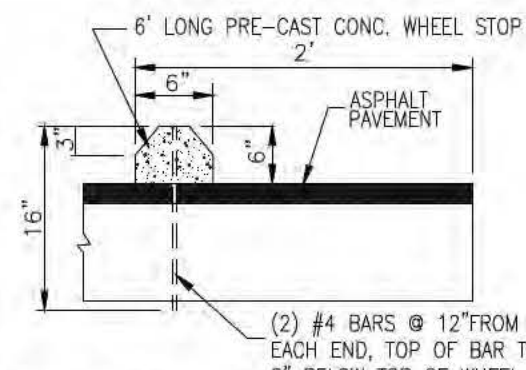
- TREE LEGEND**
- OAK TREE
  - CAMPOR TREE
  - TREE TO BE REMOVED
  - PALM TREE
  - MAPLE TREE
- (TREE SIZES IN INCHES AS INDICATED)

- LEGEND**
- |                       |                              |
|-----------------------|------------------------------|
| EXISTING              | PROPOSED                     |
| BOUNDARY LINE         | SPOT ELEVATION               |
| CONTOUR               | REGULAR PARKING SPACE        |
| EXISTING PAVEMENT     | HANDICAP PARKING SPACE       |
| OVERHEAD UTILITY LINE | SURFACE WATER FLOW DIRECTION |
| FLOOD ZONE LINE       | SIDEWALK                     |
| UTILITY POLE          | PAVEMENT                     |
| LIGHT POLE            | STORM SEWER                  |
| WATER VALVE           | STORM GRATE INLET            |
| WATER METER           | STORM MANHOLE                |
| GAS VALVE             | TREE BARRICADE               |
| MANHOLE               | CONTINUOUS EROSION CONTROL   |
| WELL                  |                              |
- NOTE: PROPOSED PIPES & STRUCTURES ARE SHOWN SOLID.  
EXISTING PIPES & STRUCTURES ARE SHOWN OPEN & DASHED

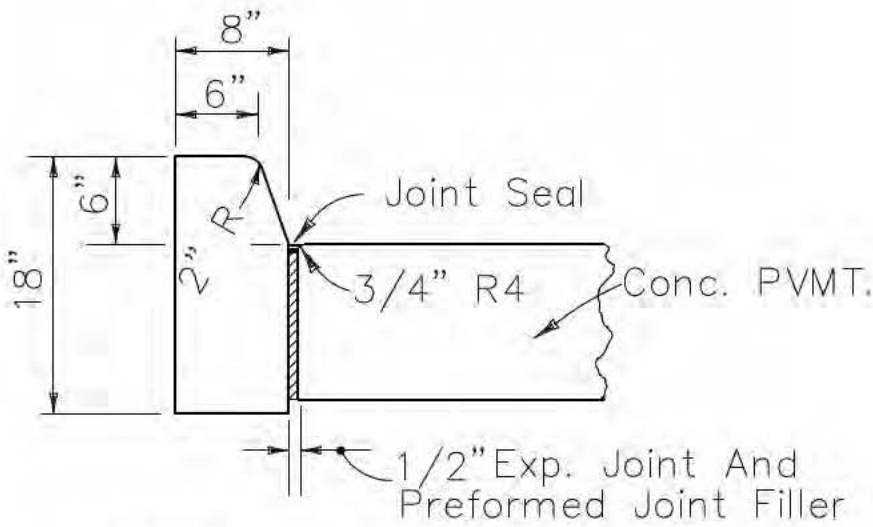




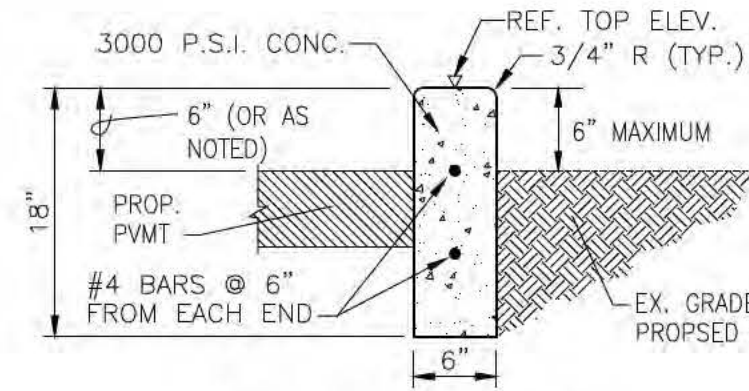
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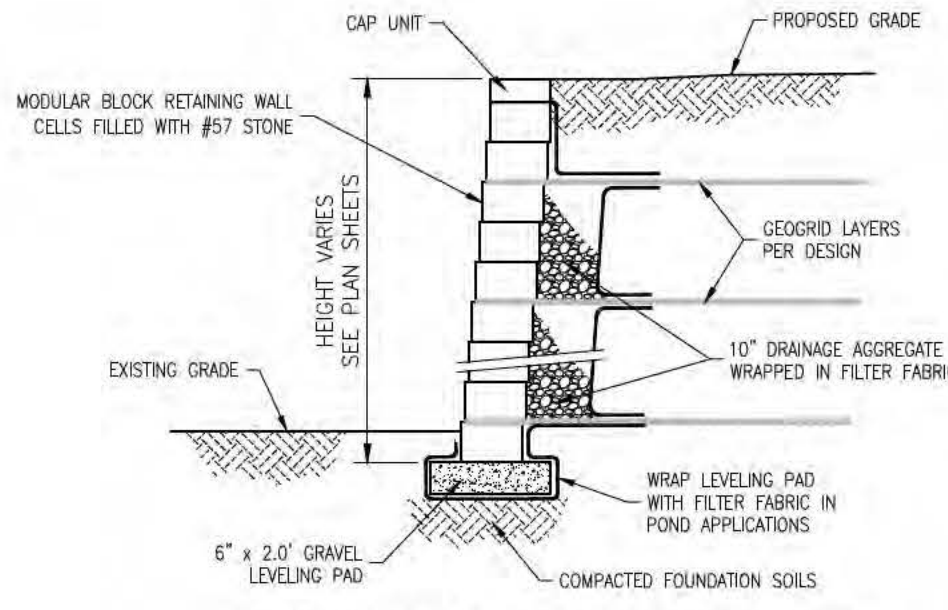
PRE-CAST CONC. WHEEL STOP  
NOT TO SCALE



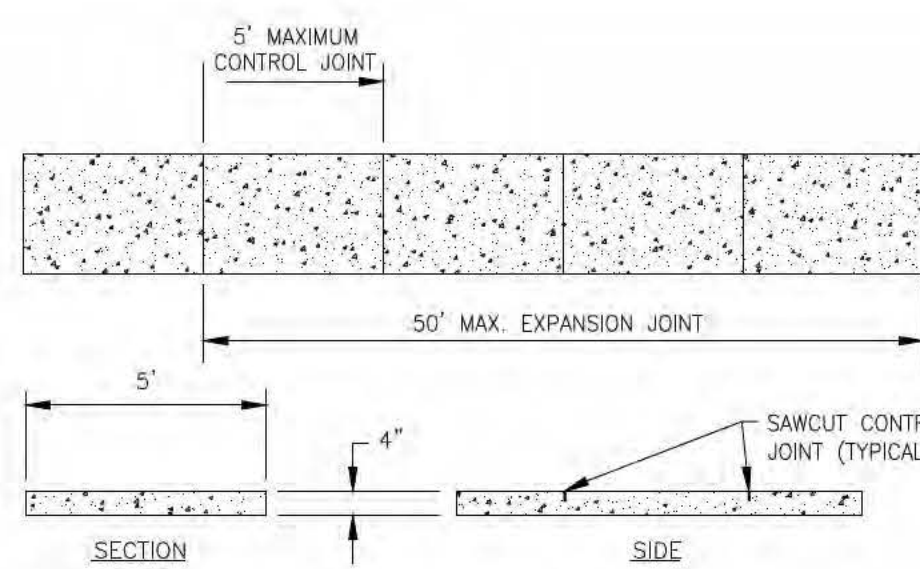
TYPE D CURB DETAIL  
NOT TO SCALE



HIGH CURB DETAIL  
NOT TO SCALE

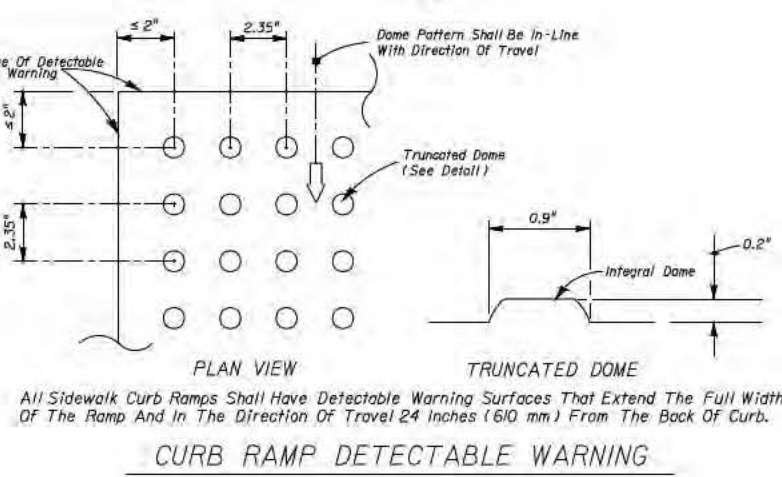
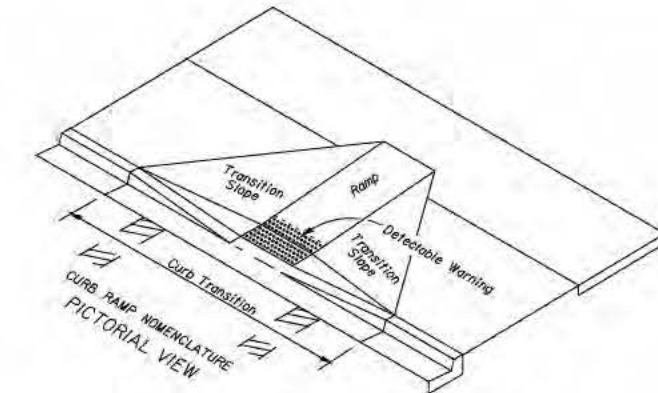


MODULAR BLOCK RETAINING WALL DETAIL  
NOT TO SCALE  
PROVIDED BY:  
ASSOCIATED CONCRETE PRODUCTS, INC.  
LUTZ, FLORIDA

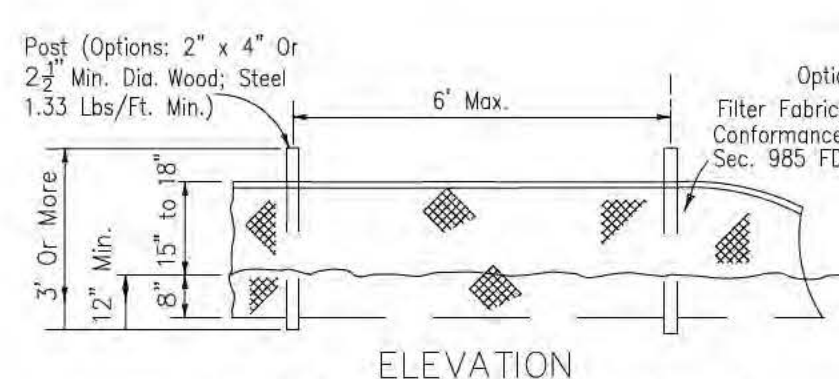


NOTE:  
SIDEWALKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE,  
3,000 PSI @ 28 DAYS, MATERIALS AND METHODS OF CONSTRUCTION  
SHALL CONFORM TO THE FLORIDA DOT STANDARD SPECIFICATIONS FOR  
ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. STANDARD  
THICKNESS SHALL BE FOUR (4) INCHES, WITH THE EXCEPTION OF THE  
FOLLOWING:  
A. WHEN USING SAWED CONTRACTION JOINTS, THE DEPTH IS TO BE A  
MINIMUM OF 1-1/2 INCHES.  
B. EXPANSION JOINTS ARE REQUIRED BETWEEN SIDEWALKS AND  
CURBING DRIVEWAYS AND ALL FIXED OBJECTS. EXPANSION SHALL  
BE AT 50 FEET INTERVALS ON STRAIGHT RUNS. SAW CUT JOINTS  
EVERY 5 FEET.

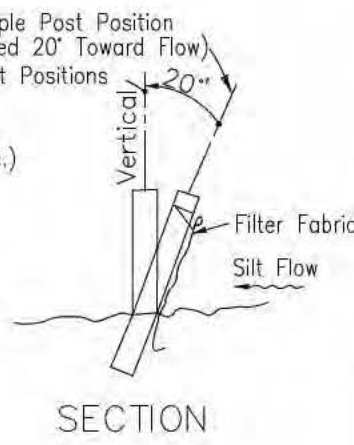
SIDEWALK DETAIL  
NOT TO SCALE



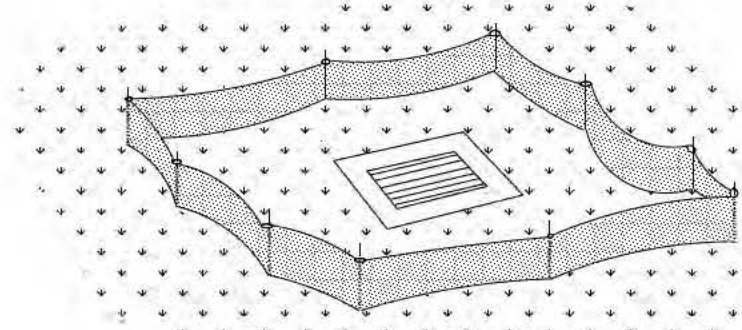
CURB RAMP DETECTABLE WARNING



TYPE III SILT FENCE  
NOT TO SCALE

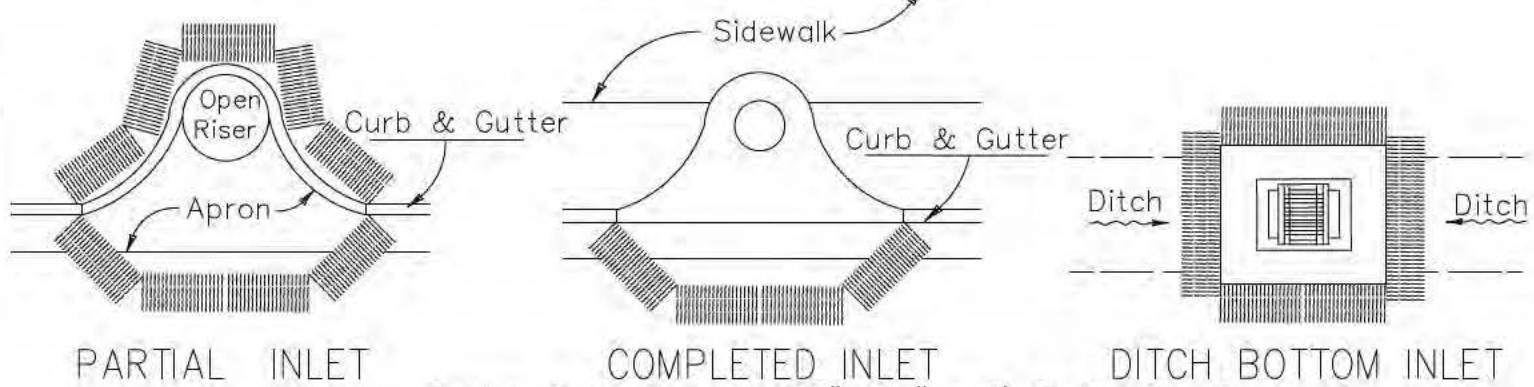


TYPE I  
D<sub>1</sub> = 5' Std. (Single Panel For Depths 5' or Less).  
D<sub>2</sub> = 5' Std. (Additional Panel For Depths 5' >).  
Curtain To Reach Bottom Up To Depths Of 10 Feet.  
Two (2) Panels To Be Used For Depths Greater Than  
10 Feet Unless Special Depth Curtains Specifically Called  
For In The Plans Or As Determined By The Engineer.



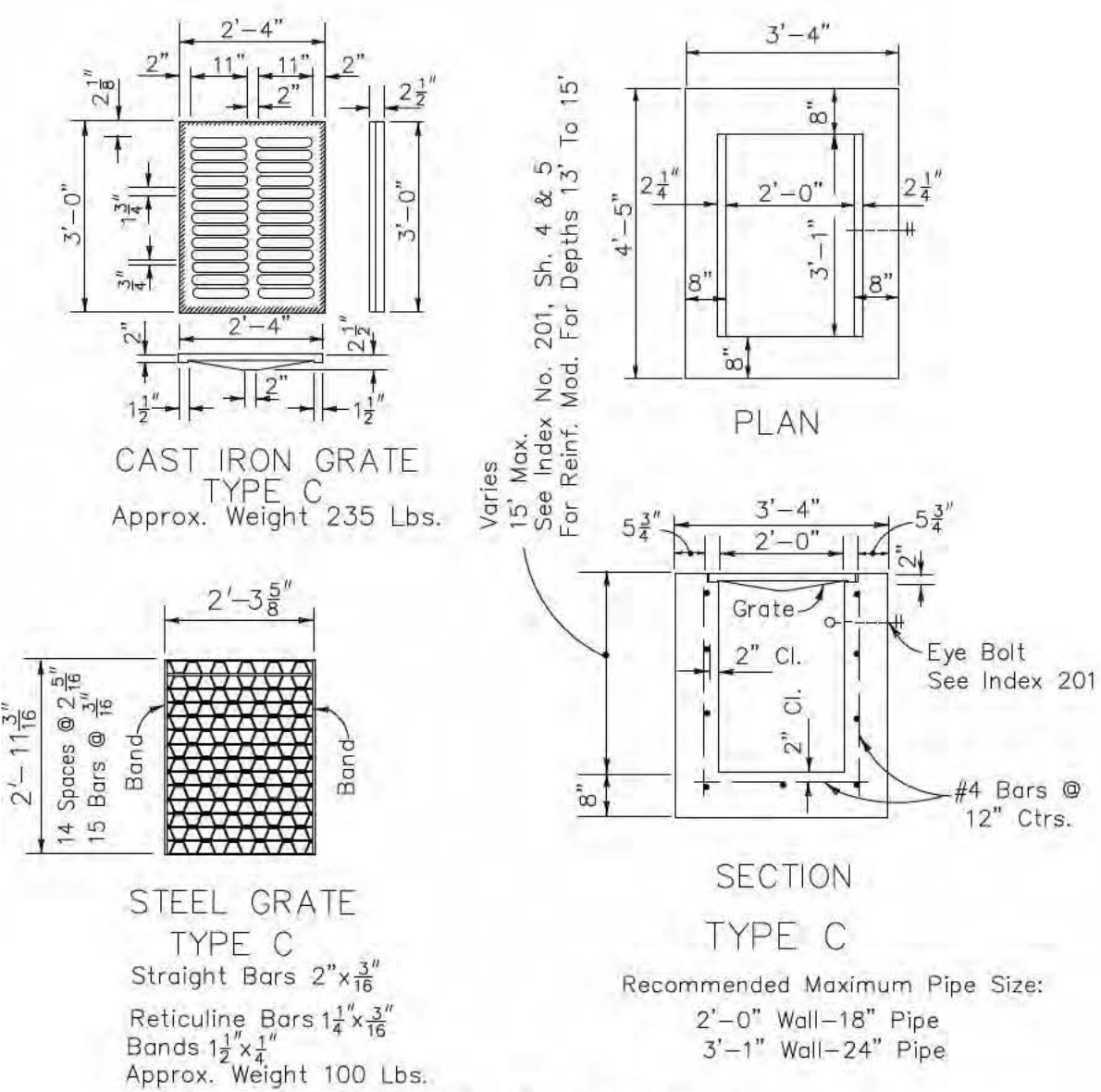
Type III Silt Fence Protection  
Around Ditch Bottom Inlets.  
Do not deploy in a manner that silt fences will  
act as a dam across permanent flowing  
watercourses. Silt fences are to be used at  
upland locations and turbidity barriers are to  
be used at permanent bodies of water.

SILT FENCE APPLICATIONS  
FOOT INDEX 102 N.T.S.

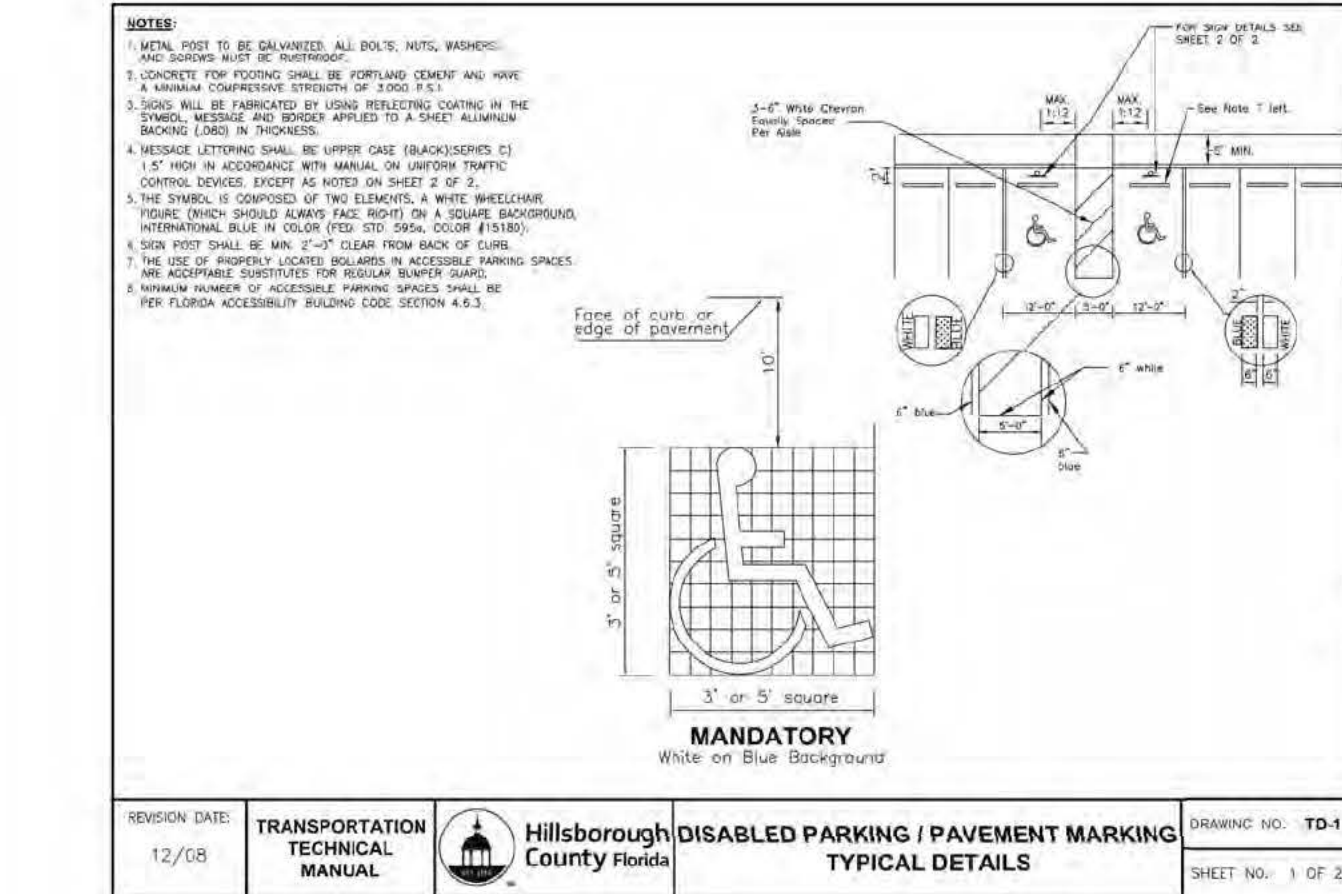


BALED HAY OR STRAW BARRIERS  
FOOT INDEX 102 N.T.S.

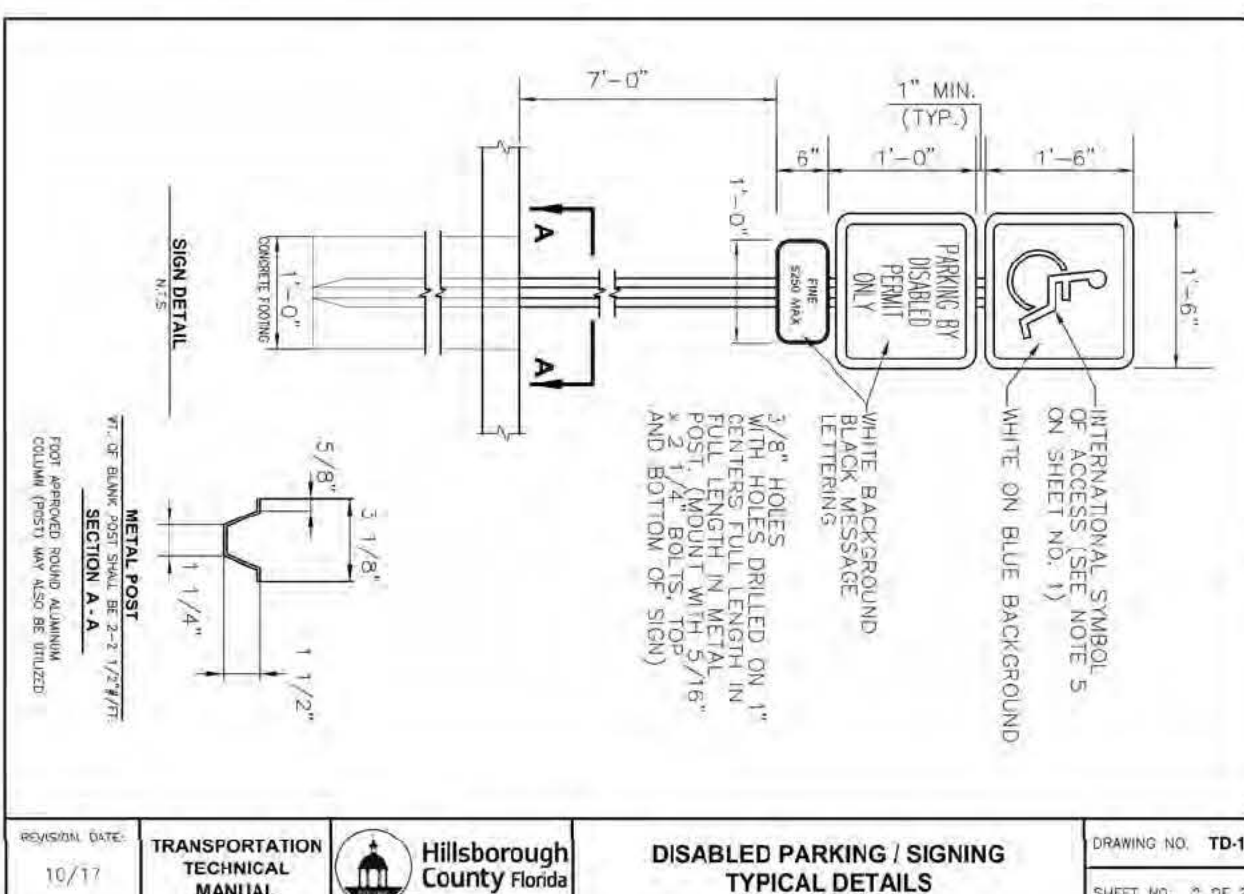
## EROSION CONTROL DETAILS



TYPE C INLET  
FOOT INDEX 232 NOT TO SCALE



DISABLED PARKING / PAVEMENT MARKING  
TYPICAL DETAILS  
DRAWING NO. TD-1  
SHEET NO. 1 OF 2



DISABLED PARKING / SIGNING  
TYPICAL DETAILS  
DRAWING NO. TD-1  
SHEET NO. 2 OF 2

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Professional Engineer,  
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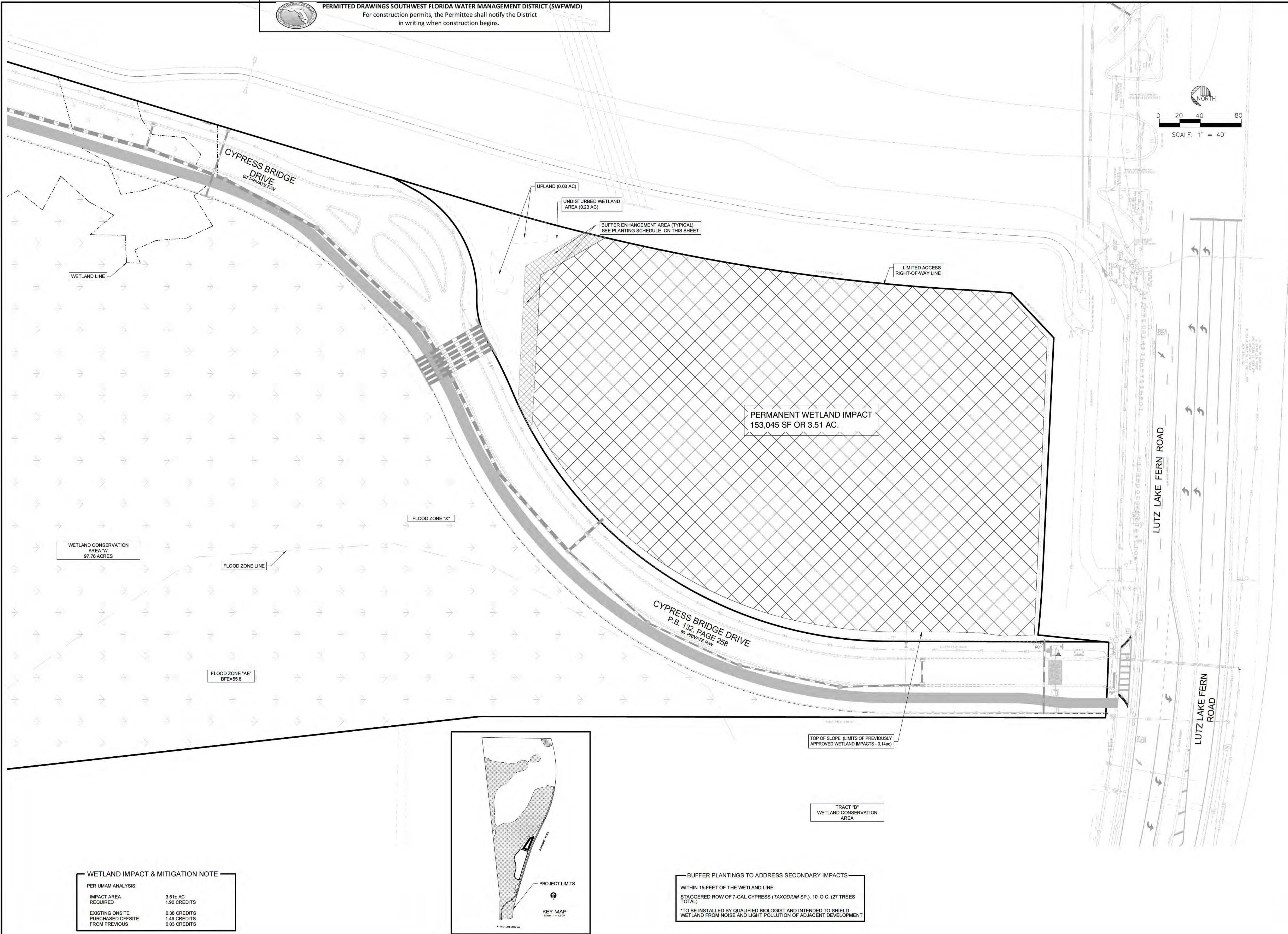
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12

8





WETLAND IMPACT & MITIGATION NOTE	
PER UMAM ANALYSIS:	
IMPACT AREA REQUIRED	3.51± AC 1.90 CREDITS
EXISTING ONSITE	0.38 CREDITS
PURCHASED OFFSITE	1.48 CREDITS
FROM PREVIOUS	0.03 CREDITS


— BUFFER PLANTINGS TO ADDRESS SECONDARY IMPACTS —  
WITHIN 15- FEET OF THE WETLAND LINE:  
STAGGERED ROW OF 7-GAL CYPRESS (TAXODIUM SP.), 10' O.C. (27 TREES TOTAL)  
\*TO BE INSTALLED BY QUALIFIED BIOLOGIST AND INTENDED TO SHIELD WETLAND FROM NOISE AND LIGHT POLLUTION OF ADJACENT DEVELOPMENT

12

12

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HILLSBOROUGH COUNTY, FLORIDA

WETLAND IMPACT & MITIGATION  
PLAN

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